



City of Colleyville Planning and Zoning Commission Agenda

City Hall
100 Main Street
Colleyville, Texas 76034
817. 503.1000
www.colleyville.com

Monday, June 10, 2019

City Council Chambers

**PRE COMMISSION MEETING
6:15 P.M.
EXECUTIVE CONFERENCE ROOM
THIRD FLOOR**

**LEGAL BRIEFING BY CITY ATTORNEY REGARDING PLANNING, ZONING,
PLATTING, AND LAND USE**

**REVIEW OF REGULAR AGENDA ITEMS AND DISCUSSION OF PREVIOUS
MEETING MINUTES**

**DISCUSSION OF ITEMS TO BE PLACED ON FUTURE AGENDAS AND
UPDATES ON DEVELOPMENT TRENDS, PROGRESS AND CITY COUNCIL
ACTIONS ON PAST AGENDA ITEMS**

**EXECUTIVE SESSION – In accordance with Texas Government Code
Chapter 551, Subchapter D, Section 551.071 – Legal – Consultation with
attorney on legal issues raised by public hearing or action items on the
agenda**

**7:00 P.M. - REGULAR MEETING
CALL TO ORDER AND ROLL
INVOCATION: COMMISSIONER HOLT
PLEDGE OF ALLEGIANCE**

- 1. CITIZEN COMMENTS/PRESENTATIONS REGARDING ITEMS NOT ON
THE AGENDA**
- 2. PUBLIC HEARING AGENDA ITEMS**

- 2a** Consideration of a Final Plat for Lots 1-15, Block A, Lots 1-6, Block B, Lots 1-6, Block C, Lot 1, Block D, Lot 1, Block E, Lot 1, Block F, and Lot 1, Block G, of the Legacy North Addition, located at 712-810 Lavaca Trail, Case PC19-009
- 2b** Consideration of a zoning change from the AG Agricultural zoning district to the R-40 Single Family Residential zoning district on a portion of Lot 1R-2, Block 1, of the Mockingbird Hill Addition, located at 6260 Pool Road, Case ZC19-006

3. ADJOURNMENT

I hereby certify this agenda was posted on City Hall bulletin boards June 7, 2019 by 5:00 p.m.



Araceli Botello
Planning Technician

A quorum of the Colleyville City Council may be in attendance at this meeting.

Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the City Secretary at least 48 hours in advance at 817.503.1133, and reasonable accommodations will be made to assist you.



City of Colleyville Planning and Zoning Commission Agenda Briefing

City Hall
100 Main Street
Colleyville, Texas 76034
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Agenda Number 2a	Agenda Date 6/10/2019	Number
Type Public Hearing Agenda Items		
Department Community Development		

Title

Consideration of a Final Plat for Lots 1-15, Block A, Lots 1-6, Block B, Lots 1-6, Block C, Lot 1, Block D, Lot 1, Block E, Lot 1, Block F, and Lot 1, Block G, of the Legacy North Addition, located at 712-810 Lavaca Trail, Case PC19-009

Explanation

Keith Hamilton, the applicant, has submitted a request for a Final Plat for Legacy North Addition, being Lot C, McEwing Subdivision and Tracts 1B02A, 1B2, 1B3, and 1B4, Abstract 1154, in the R H McEwing Survey, being approximately 17.32 acres and zoned PUD-R Planned Unit Development Residential. The purpose is to subdivide the properties into 25 Single Family Residential lots and 5 open space lots. The PUD-R zoning also allows for gated, private streets.

Existing Conditions/Background: The subject property currently is undeveloped. Lavaca Trail currently provides the only street frontage to the property. The final plat for consideration proposes to divide the PUD-R area into 25 single-family residential lots and 5 open spaces lots.

Lot Dimensions and Setbacks:

Per Ordinance O-19-2075, the PUD-R zoning regulations require the following R-20 district standards:

- Minimum Lot Area: 20,000 square feet
- Minimum Lot Width: 100 feet
- Minimum Lot Depth: 125 feet
- Minimum Front Yard Setback: 30 feet
- Minimum Side Yard Setbacks: 10 feet
- Minimum Rear Yard Setback: 25 feet
- Maximum Lot Coverage: 30 percent

As submitted, the proposed plat meets all of the requirements of the PUD-R zoning.

Surrounding Development: All of the surrounding property has developed with single-family residences using a variety of zoning classifications including: R-40, R-20, and PUD-R.

Analysis: The applicant has adjusted the zoning of the property from R-40 to PUD-R in

2019 for the purpose of creating a subdivision similar to the Legacy subdivision to the south. The proposed plat creates 25 single family residential lots and five open space lots. The PUD-R also allows for gated, private streets. Access for the subdivision will occur off Lavaca Trail. A 30' emergency access easement located to the east of the main subdivision entrance is proposed to be in accordance with subdivision regulations.

Fees: Park Land Dedication fees are required in the amount of \$1,802 per residential lot. Park Land Dedication fees are due prior to filing the Final Plat for record. Impact Fees are also required per Chapter 13 (Impact Fees) of the Land Development Code and are due prior to the issuance of a Building Permit.

Tree Preservation: Any subdivision of the subject property must comply with Chapter 5 (Urban Forestry) of the Land Development Code. Where any tree is slated for removal, no site grading, dirt disturbance or new construction may occur on the property until a Tree Removal Permit has been issued that is associated with an approved Tree Preservation Plan.

In addition to the requirements for submittal of a Tree Removal Permit and Tree Preservation Plan, future development on the site must maintain the minimum existing protected tree canopy coverage as required in Chapter 5.

Staff Recommendation: Staff recommends approval. The proposed Final Plat meets the requirements of the PUD-R and the Land Development Code.

Recommendation

Approve

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Plat Exhibit
5. Drainage and Utility Plan
6. Tree Preservation Plan
7. Draft Resolution

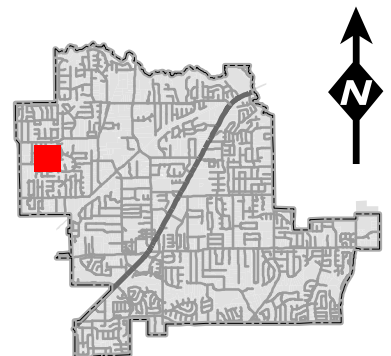
Aerial Map



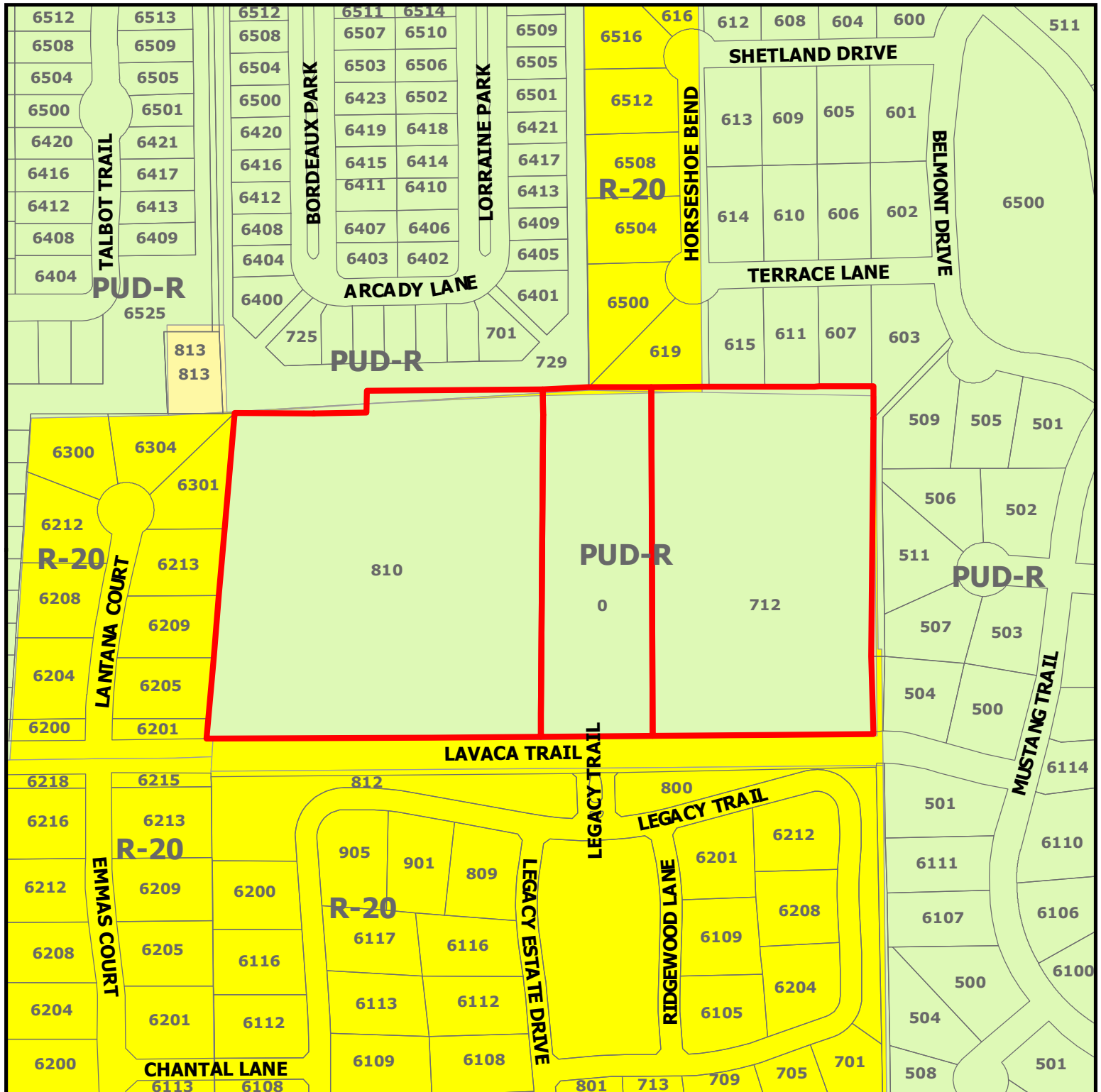
PC19-009
810-712 Lavaca Trail

DISCLAIMER:
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 Subject Property



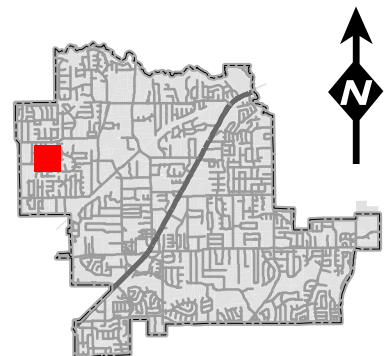
Zoning Map



PC19-009
810-712 Lavaca Trail

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 Subject Property



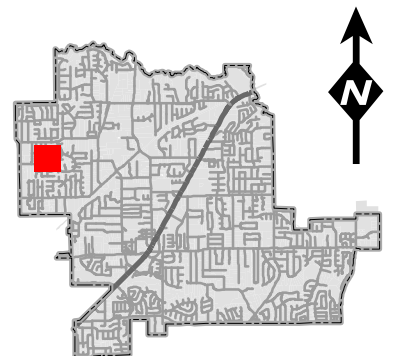
Future Land Use Map



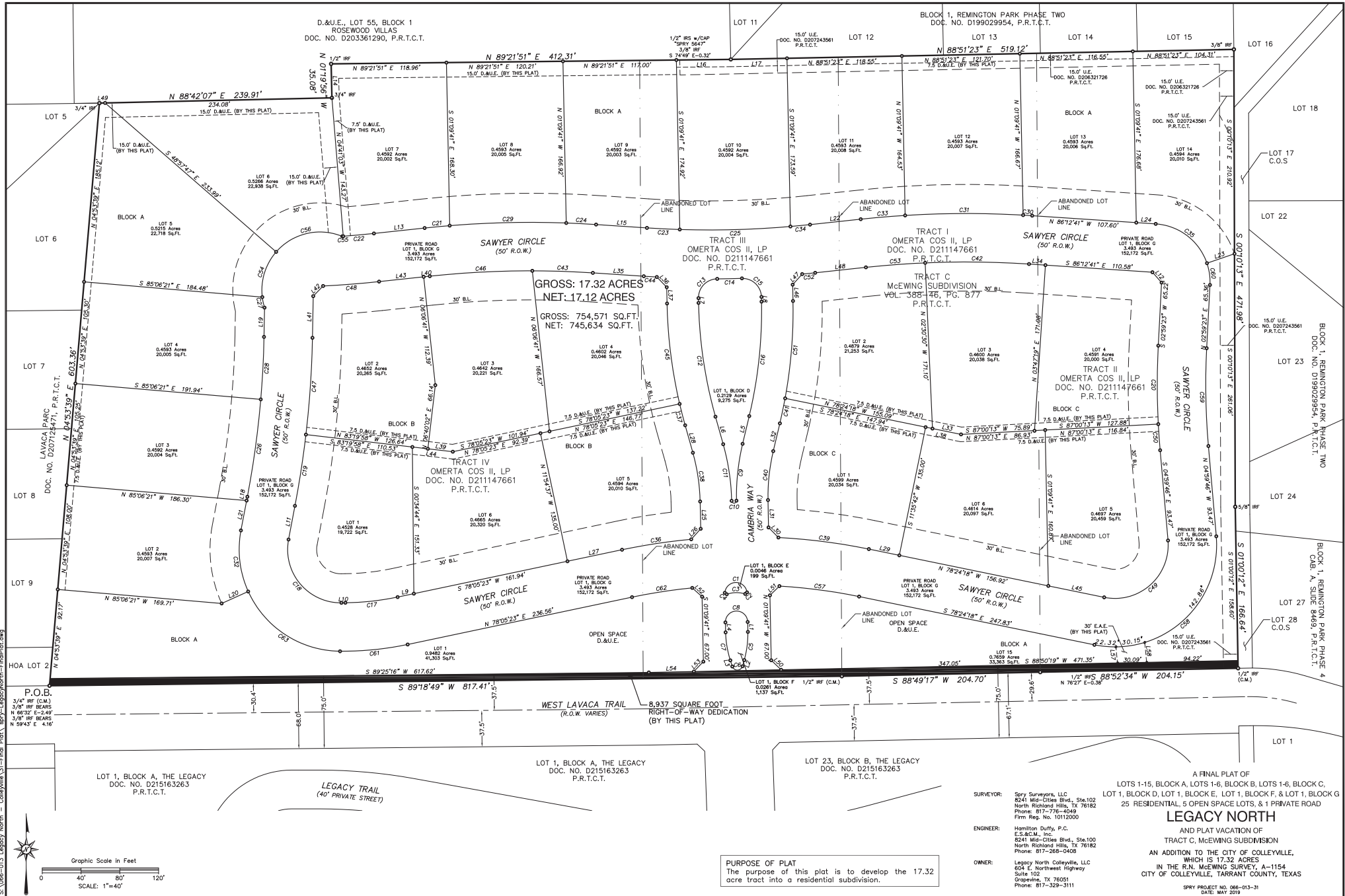
PC19-009 810-712 Lavaca Trail

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- Subject Property
- Residential
- Open Space; Parks



Plat Exhibit



Plat Exhibit

OWNER'S DEDICATION
STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, Legacy North Colleyville, LLC, is the owner of all that certain 17.32 acres of land, described in the deed recorded in Document Number D219088264, in the Public Records of Tarrant County, Texas (P.R.T.C.), in the R.N. McKing Survey, A-1154, City of Colleyville, Tarrant County, Texas and more particularly described by metes and bounds as follows: (All bearings shown herein are based on the Texas Coordinate System of 1983, North Central Zone)

BEING all of a 3/4" iron rod found for the southeast corner of said Tract IV, common to the southeast corner of Lot 2, Lavaca Parc, recorded in Document D207125471, P.R.T.C., in the north right-of-way line of West Lavaca Trail (right-of-way varies), from which a 3/8" iron rod found bears North 68° 32' East - 2.49' and a 3/8" iron rod found bears North 59° 43' East - 4.16'; THENCE North 04° 53' 39" East - 603.36' to the northwest corner of the herein described tract, common to the northeast corner of said Lavaca Parc, in the south line of Lot 55, Block 1, Rosewood Villas, recorded in Document Number D203361290, P.R.T.C.;

THENCE along the south line of said Lot 55, Block 1, Rosewood Villas the following courses:
North 88° 42' 07" East - 239.91' to a 3/4" iron rod found for a point for corner of the herein described tract;
North 01° 10' 56" West - 35.08' to a 1/2" iron rod found for a point for corner of the herein described tract;

North 89° 21' 51" East - 412.31' to a 1/2" iron rod with a cap stamped "SPRY 5647" set for a point for corner of the herein described tract, common to the southeast corner of said Lot 55, Block 1, Rosewood Villas and southwest corner of Lot 12, Block 1, Remington Park Phase Two, recorded in Document Number D199022954, P.R.T.C., from which a 3/8" iron rod found bears South 74° 49' East - 0.32';

THENCE North 88° 51' 23" East - 519.12' departing the south line of said Lot 55, Block 1, Rosewood Villas, to 3/8" iron rod found for the northeast corner of the herein described tract, common to the southwest corner of Lot 15, Block 1, of said Remington Park Phase Two; THENCE South 00° 10' 13" East - 471.98' to a 5/8" iron rod found for a point for corner of the herein described tract, in the west line of Lot 17, Block 1, of said Remington Park Phase Two; THENCE South 01° 00' 12" East - 166.64' to a 1/2" iron rod found for the southeast corner of the herein described tract, common to the southwest corner of Lot 28, Block 1, Remington Park Phase 4, recorded in Cabinet A, Slide 8469, P.R.T.C., in the north right-of-way line of said West Lavaca Trail;

THENCE along the north right-of-way line of said West Lavaca Trail the following courses:
South 88° 52' 34" West - 204.15' to a point for corner of the herein described tract and the common south corner of said Tracts I and II, Omerta Cos II, LP, from which a 1/2" iron rod bears North 70° 27' East - 0.35';
South 88° 49' 17" West - 204.70' to a 1/2" iron rod found for a point for corner of the herein described tract and the common south corner of Tracts I and II, Omerta Cos II, LP;
South 89° 18' 49" West - 817.41' to the POINT OF BEGINNING and containing 17.32 acres of land.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

That Legacy North Colleyville, LLC, the Owner, does hereby adopt this plat designating the herein before described property as Lots 1-15, Block A, Lots 1-6, Block B, Lots 1-6, Block C, Lot 1, Block D, Lot 1, Block E, & Lot 1, Block F, Legacy North, an addition to the City of Colleyville, Tarrant County, Texas, and do hereby dedicate the same to the public use forever any streets, rights-of-way, and always shown thereon, and do hereby reserve the easements shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using the same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems in any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity of any time of procuring the permission of anyone. This plat approved subject to all plotting ordinances, rules, regulations, and resolutions of the City of Colleyville, Texas.

Witness our hands this _____ day of _____, 2019.

Kasse Moykus - Managing Member Legacy North Colleyville, LLC

NOTARY CERTIFICATE

STATE OF TEXAS

COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Kasse Moykus, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2019.

Notary Signature

Notary Stamp:

SURVEYOR CERTIFICATE

That I, David Carlton Lewis, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land and the monuments shown hereon were found and/or placed under my personal supervision and in accordance with the Plotting Rules and Regulations of the City Plan Commission of the City of Colleyville, Texas.

This document shall not be recorded for any purpose. This drawing shall be used for:

REVIEW PURPOSES ONLY

David Carlton Lewis
R.P.L.S. No. 5647

Date: May 29, 2019

David Carlton Lewis, R.P.L.S.
Texas Registration No. 5647
Spry Surveyors, LLC
8241 Mid-Cities Blvd Ste 102
North Richland Hills, TX 76182



CITY COUNCIL APPROVAL

WHEREAS the City Council of the City of Colleyville, Texas voted affirmatively on this _____ day of _____, 20____, to approve this Plat.

Mayor, City of Colleyville

Attest: City Secretary

PLANNING AND ZONING COMMISSION APPROVAL

WHEREAS the Planning and Zoning Commission of the City of Colleyville, Texas voted affirmatively on this _____ day of _____, 20____, to approve this Plat.

Chairman, Planning and Zoning Commission

Attest: Secretary, Planning and Zoning Commission

NOTES

- This Survey is issued without the benefit of a current title report and is subject to revision upon receipt thereof. Surveyor has done no additional research for possible easements, restrictions or covenants which may affect this property.
- All bearings shown hereon are based on the Texas Coordinate System of 1983, North Central Zone.
- Unless otherwise noted, all boundary and/or lot corners for the subject property shown hereon are 1/2" iron rods set with a cap stamped "SPRY 5647".
- Spry Surveyors and the Client have agreed to exclude the placement of monuments as required in Section 4.1 of the Texas Surveyors Association Manual of Practice.
- The Surveyor has not physically located any underground utilities and/or improvements which may be located under or near the subject property.
- Selling a portion of this addition by metes and bounds is a violation of the City Subdivision Ordinance and State plotting statutes and is subject to fines and withholding of utilities and building permits.
- According to the Flood Insurance Rate Map No. 48430C0095K, published by the Federal Emergency Management Agency, dated: September 25, 2009, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.
- All residences within the subdivision shall contain NFPA 130 fire suppression systems.

LEGEND

- BOUNDARY CORNER
- LOT CORNER
- EASEMENT CORNER

ABBREVIATIONS

- N.T.S. NOT TO SCALE
- U.N.C. UNLESS NOTED OTHERWISE
- P.R.T.C. PUBLIC RECORDS OF TARRANT COUNTY, TEXAS
- P.G. PAGE
- C.B. CABINET
- D.C. NO. DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- P.O.B. POINT OF BEGINNING
- C.M. CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IRS IRON ROD SET
- R.O.W. RIGHT-OF-WAY
- B.L. BUILDING LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- D.A.U.E. DRAINAGE & UTILITY EASEMENT
- T.E.S.O. TEXAS ELECTRIC SERVICE COMPANY
- E.A.E. EMERGENCY ACCESS EASEMENT
- C.O.S. COMMON OPEN SPACE
- C.O.C. CONC. CONCRETE

PURPOSE OF PLAT
The purpose of this plat is to develop the 17.32 acre tract into a residential subdivision.

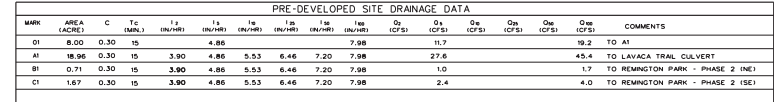
A FINAL PLAT OF
LOTS 1-15, BLOCK A, LOTS 1-6, BLOCK B, LOTS 1-6, BLOCK C,
LOT 1, BLOCK D, LOT 1, BLOCK E, LOT 1, BLOCK F, & LOT 1, BLOCK G
25 RESIDENTIAL, 5 OPEN SPACE LOTS, & 1 PRIVATE ROAD

LEGACY NORTH

AND PLAT VACATION OF
TRACT C, McEWING SUBDIVISION
AN ADDITION TO THE CITY OF COLLEYVILLE,
WHICH IS 17.32 ACRES
IN THE R.N. McEWING SURVEY, A-1154
CITY OF COLLEYVILLE, TARRANT COUNTY, TEXAS

SPRY PROJECT NO. 066-013-31
DATE: MAY 2019

**HAMILTON
DUFFY, PC**
CONSULTING
CIVIL & ENVIRONMENTAL ENGINEERS • PLANNERS • CONSTRUCTION MANAGERS
8241 MID-CITIES BLVD. • NORTH RICHLAND HILLS, TEXAS 76181
PHONE (817) 268-8488 WWW.HAMILTONDUFFY.COM



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BIDDING, OR PERMIT PURPOSES. THEY WERE
PREPARED BY, OR UNDER SUPERVISION OF:

KEITH M. HAMILTON 87384 \$DATES

PE NO. DATE

DRAINAGE NOTES:

1. PLANS FOR THE LEGACY (SOUTH), LAVACA TRAIL ESTATES (SOUTHWEST), REMINGTON PARK PHASE 4 (EAST), LAVACA PARK (WEST) AND WESTGATE VILLAS (NORTH) WERE REFERENCED DURING PLAN PREPARATION.
2. ALL DRAINAGE DESIGN TO BE IN ACCORDANCE WITH CITY OF COLLEGEVILLE STANDARDS.
3. PER CITY REQUIREMENTS, DETENTION SHALL BE PROVIDED SUCH THAT DEVELOPED RUNOFF FROM THE PROPERTY LEAVES AT THE SAME RATE OR LESS THAN DURING PRE-DEVELOPED CONDITIONS.

DRAINAGE AREA COMPUTATIONS

BASIS:

- Q = CIA (Rational Method)
- Q = Storm discharge (cubic feet per second)
- C = runoff coefficient, based on land use
 - 1 = average rainfall intensity for time of concentration (inches per hour) (per ISWM)
- A = area contributing runoff (acres)

RUNOFF COEFFICIENT:

- C = 0.30 Parks and Open Areas
- C = 0.40 Developed Park Site
- C = 0.60 Single Family Residential

STORM FREQUENCY:
5 Years - Enclosed Pipe System

TIME OF CONCENTRATION:
Combination of inlet time and time of flow in the drain being the time for water to flow over the surface of the ground to the storm drain inlet (onsite + offsite, if applicable)

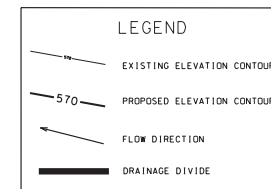
MINIMUM INLET TIME OF CONCENTRATION:

Parks and Open Areas	15 minutes
Residential, Single Family	15 minutes

PRE-DEVELOPED SITE DRAINAGE DATA														COMMENTS
MARK	AREA (ACRE)	C	Tc (MIN.)	I _s (IN/HR)	I _a (IN/HR)	I _o (IN/HR)	I _u (IN/HR)	I _{tp} (IN/HR)	Q _s (CFS)	Q _u (CFS)	Q _o (CFS)	Q _u (CFS)	Q _o (CFS)	
O1	8.00	0.30	15		4.86			7.98					19.2	TO A1
A1	18.96	0.30	15	3.90	4.86	5.53	6.46	7.20	7.98				45.4	TO LAMONA TRAIL CULVERT
B1	0.71	0.30	15	3.90	4.86	5.53	6.46	7.20	7.98				1.7	TO REMINGTON PARK - PHASE 2 (NE)
C1	1.67	0.30	15	3.90	4.86	5.53	6.46	7.20	7.98		2.4		4.0	TO REMINGTON PARK - PHASE 2 (SE)

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PHONE (817) 268-8408 WWW.HAMILTONDUFFY.COM



DRAINAGE NOTES:

1. PLANS FOR THE LEGACY (SOUTH), LAVACA TRAIL ESTATES (SOUTHWEST), REMINGTON PARK PHASE 4 (EAST), LAVACA PARK (WEST) AND WESTGATE VILLAS (NORTH) WERE REFERENCED DURING PLAN PREPARATION.
2. ALL DRAINAGE DESIGN TO BE IN ACCORDANCE WITH CITY OF COLLEYSVILLE STANDARDS.
3. PER CITY REQUIREMENTS, DETENTION SHALL BE PROVIDED SUCH THAT DEVELOPED RUNOFF FROM THE PROPERTY LEAVES AT THE SAME RATE OR LESS THAN DURING PRE-DEVELOPED CONDITIONS.

BASIS:

- Q = CIA (Rational Method)
- Q = Storm discharge (cubic feet per second)
- C = runoff coefficient, based on land use
- I = average rainfall intensity for time of concentration (inches per hour) (per ISWM)
- A = area contributing runoff (acres)

RUNOFF COEFFICIENT:

- C = 0.30 Parks and Open Areas
- C = 0.40 Developed Park Site
- C = 0.60 Single Family Residential

STORM FREQUENCY:
5 Years - Enclosed Pipe System
100 Years - Combined Enclosed Pipe System - Street - R.O.W.

TIME OF CONCENTRATION:
Combination of inlet time and time of flow in the drain being the time for water to flow over the surface of the ground to the storm drain inlet (onsite - offsite, if applicable)

MINIMUM INLET TIME OF CONCENTRATION:

Parks and Open Areas	15 minutes
Residential, Single Family	15 minutes
Industrial, Business	10 minutes

CURB OPENING INLET ON GRADE:

Less than 2% grade	= 1 cfs/ft opening
2% to 3.5% grade	= 0.67 cfs/ft opening
greater than 3.5%	= 0.5 cfs/ft opening

N (CONCRETE) = 0.015
AREA = 10.50 SQ. FT.
WETTED PERIMETER = 31.0 FT
RH = A/PW = 0.339 FT
Q (MANNING'S EQUATION) = 507.6^{0.5}

2) AREA C1 CONSIDERED SOMEWHAT UNDEVELOPED DUE TO OPEN AREAS

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LEGACY NORTH

CITY OF COLLEYVILLE, TEXAS

WATER AND SANITARY SEWER PLAN

PRELIMINARY
FOR REVIEW ONLY

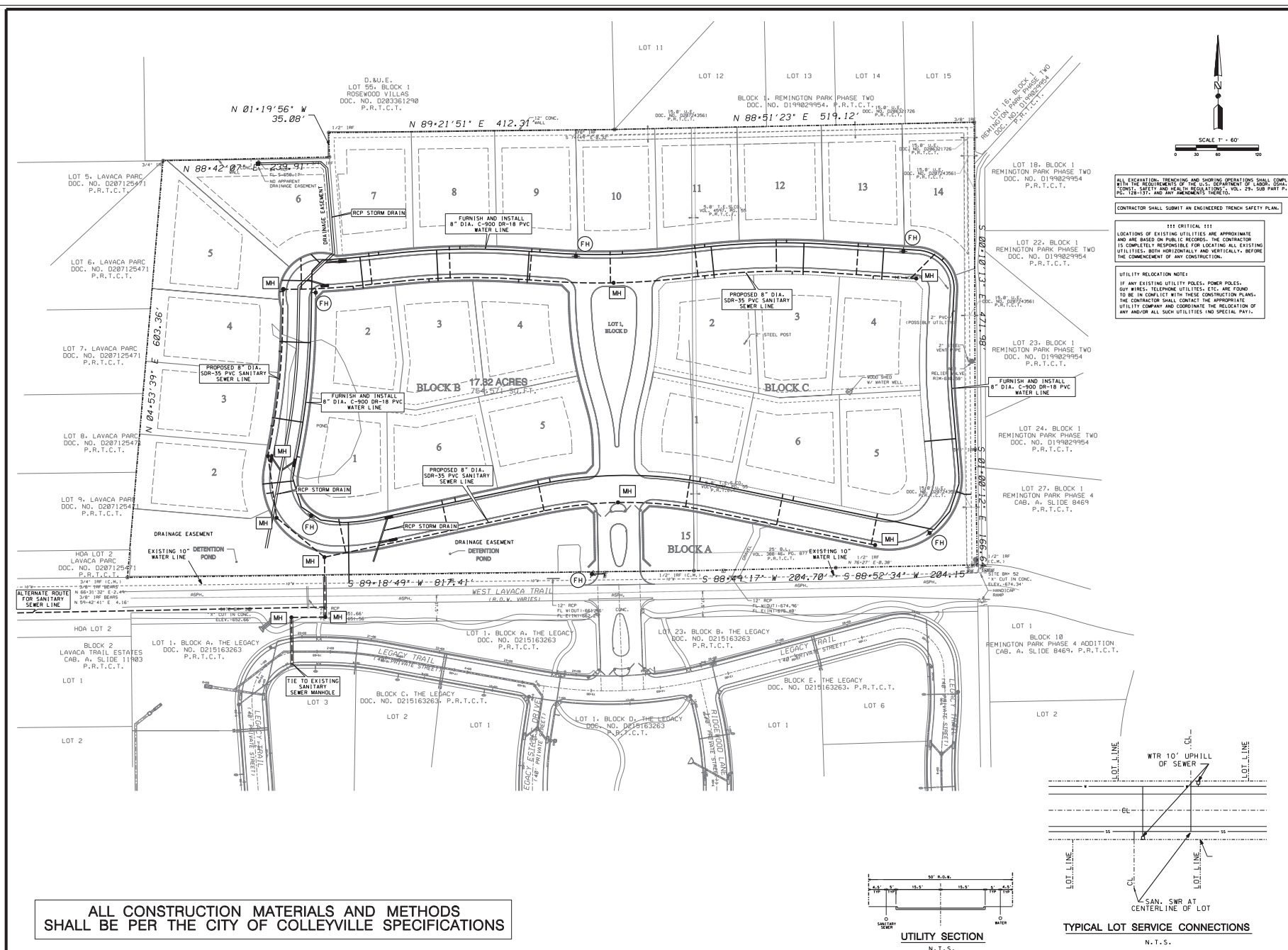
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PREPARED BY, OR UNDER SUPERVISION OF:

KEITH M. HAMILTON 87384 30405

PE NO. DATE

NO.	REVISED	BY	DATE	JOB
				040-965
			DATE	10/10/2018
			DESIGNED	K. M. H.
			DRAWN	J. B. E.
			CHECKED	K. M. H.
				TEAMS REGISTERED
				NUMBER OF TEAMS
				NUMBER OF POPS

C1.03

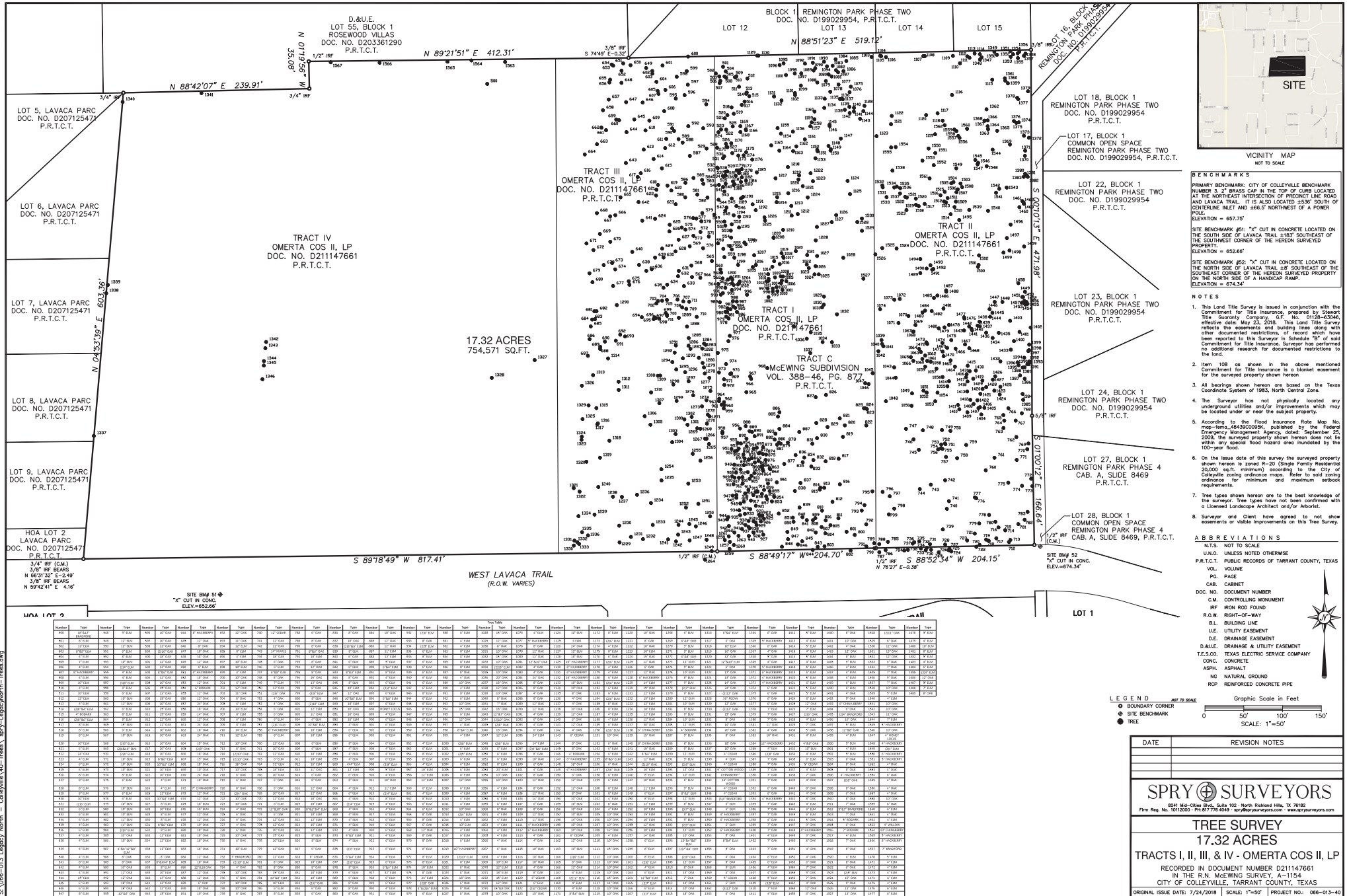


ALL CONSTRUCTION MATERIALS AND METHODS
SHALL BE PER THE CITY OF COLLEYVILLE SPECIFICATIONS

UTILITY SECTION

TYPICAL LOT SERVICE CONNECTIONS
N.T.S.

Tree Preservation Plan



Tree Preservation Plan



Tree Preservation Notes

- ALL TREES SHOWN ON THIS PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING). REFERENCE SHEET TP-04 FOR TREE PROTECTION DETAILS.
- REFERENCE RELATED CIVIL ENGINEERING PLANS FOR EXACT LOCATION OF UNDERGROUND UTILITY LINES.
- REFERENCE RELATED GRADING PLANS FOR LOCATION OF UNDERGROUND IRRIGATION HEAD AND LINE LOCATIONS.
- INDIVIDUAL LOT OWNERS/BUILDERS ARE REQUIRED TO SUBMIT A DETAILED LOT GRADING PLAN, SIGNED AND SEALED BY A TEXAS REGISTERED PE TO THE CITY ALONG WITH THEIR BUILDING PERMIT APPLICATIONS. SINGLE LOTS SHALL ACCOMMODATE THEIR OWN DRAINAGE.

Tree Legend

SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN SIZE VARIES SELECTIVELY PRUNE APPROPRIATE LOCATION OF CRITICAL ROOT ZONE
	EXISTING TREE TO BE REMOVED DURING SUBDIVISION CONSTRUCTION SIZE VARIES
	EXISTING TREE TO BE REMOVED DURING HOME CONSTRUCTION SIZE VARIES
	TREE PROTECTION FENCING FOR SUBDIVISION CONSTRUCTION
	TREE PROTECTION FENCING FOR BUILDER CONSTRUCTION

Tree Summary For: Legacy North - Oct. 3, 2018

Tree Canopy	%	SQ. FT.	Acres
Project Area		754,571	17.323
Tree Canopy Coverage	40.4%	304,613	6.993
Required Preservation of Tree Canopy	50%	332,807	7.496
Canopy of Exempt Trees		138,807	3.187
Maximum Credit for Preserving Canopy of Exempt Trees		49,404	1.133
Preserved Canopy of Exempt Trees		3,089	0.071
Preserved Canopy of Non-Exempt Trees		165,806	3.806
Provided Preservation of Tree Canopy	55%	168,895	3.877
Surplus Preservation of Tree Canopy		16,588	0.381
Tree Mitigation			
Required Tree Mitigation Planting			
Provided Tree Mitigation Planting			
Surplus Tree Mitigation Planting			
Maximum Credit for Preserving Canopy of Exempt Trees		\$0.00	
Required Tree Mitigation Payment			
Provided Tree Mitigation Payment		\$0.00	
Surplus Tree Mitigation Payment			



0 50' 100' 200'
1" = 50'-0"

SAGE GROUP, INC.
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL 817-424-2626

Master Planning
Urban Design
Architecture
Landscape Architecture

APPLICANT
Hot Creek Development
P.O. Box 92747
Southlake, TX 76092
Phone: 817-329-3111
Contact: Kasey Mayhew

THE LEGACY NORTH COLLEYVILLE, TEXAS

Issued
Oct 3, 2018

Revisions

SHEET
TP.01

Tree Preservation Plan

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Tree Survey

TREE LIST

                          	
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Tree Preservation Plan

TREE PRESERVATION NOTES:

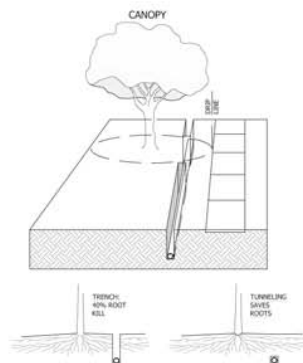
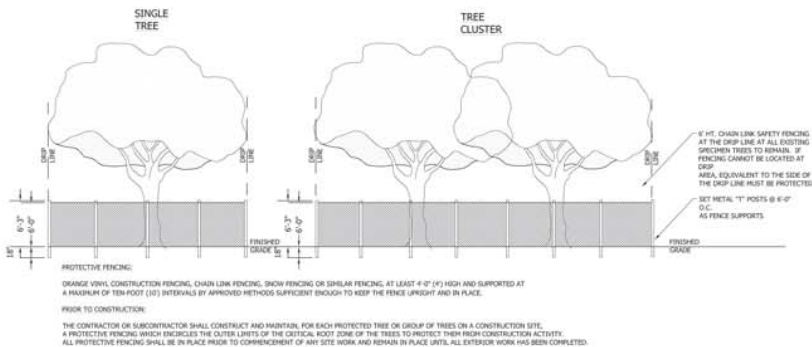
- All trees shown on this plan, to be preserved, shall be protected during construction with temporary fencing. Tree protection fences shall be installed prior to commencement of any site preparation work (clearing, grubbing or grading).
- Fences shall completely surround the tree or clusters of trees. The fence shall be located at the outermost limits of the tree branches or critical root zone. The fence will be maintained throughout the construction project in order to prevent the following:
 - Soil compaction in the critical root zone resulting from vehicular traffic or storage of equipment or materials.
 - Critical root zone disturbances due to grade changes greater than two inches (2") cut of fill or boring which was not authorized by the City.
 - Wounds to the trunk, limbs or exposed roots by mechanical equipment.
 - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- In cases of area constraints where protective fencing is closer to the trunk than four feet (4'), the trunk must be protected with strapped-on planking to a height of eight feet (8') or to the limits if lower branching.
- All grading within critical root zones of protected trees shall be performed by hand or small equipment to minimize damage. Prior to grading, relocate the protective fencing to two feet (2') behind the grade change area.
- Trees most heavily impacted by construction activities should be watered deeply once a week during periods of hot and dry weather. Tree crowns should be sprayed with water periodically to reduce dust accumulation on the leaves.
- Trenching for landscape irrigation shall be located as far from the existing trunks as possible.
- Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before construction begins.

Prohibited Activities: The following activities shall be prohibited within the limits of the critical root zone of any tree which is subject to Tree Protection.

- Material Storage:** No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the critical root zone of any protected tree.
- Equipment Cleaning/Liquid Disposal:** No equipment may be cleaned or other liquids deposited within the limits of the critical root zone of any protected tree. This would include, but not be limited to, paint, oil, solvents, asphalt, concrete, mortar or other materials.
- Tree Attachments:** No signs, wires or other attachments, other than those of a protective nature, shall be attached to any protected tree.
- Vehicular Traffic:** No vehicular and/or construction equipment traffic or parking is allowed within the critical root zone of protected trees.

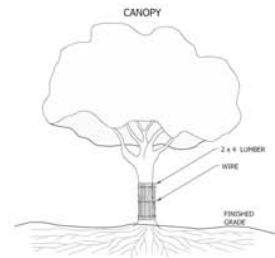
Tree Flagging:

- Tree Flagging:** All trees to be removed from the construction site shall be flagged with bright red vinyl tape, wrapped around the main trunk, at a height of four feet (4') or more such that the tape is visible to workers on foot or driving equipment.
- Tree Identification:** All protected trees shall be tagged with the unique classification number described in Section 5.8. Said number shall correspond to the number listed on the protection plan and shall be clearly visible and legible on a metallic surface located between four and five feet above the base of the tree. The classification number shall remain on the tree until all construction is complete and final approval has been obtained by the City.
- Protective Fencing:** All protected trees shall have protective fencing located at the tree's critical root zone. The protective fencing shall be comprised of orange vinyl construction fencing, with a minimum of four-foot (4') approximate height. The protective fencing may be located within the critical root zone of the specimen tree for approved construction only as determined by the Administrative Official. The fencing shall follow the delineation of the approved construction. In order to protect the trunk, the trunks of all protected trees shall be wrapped with orange vinyl construction fencing such that the trunk will be easily visible during construction activities.
- Bark Protection:** In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree.
- Construction Pruning:** In a case where a low hanging limb may be broken during the course of construction, the obtrusive limb may be cut. The limb shall be cut either flush to the trunk, on or at the next joint of the limb. The wound shall then be sealed with pruning paint. In no instance shall pruning involve a portion of the trunk OR thirty percent (30%) of the entire canopy with the Administrative Official's prior approval.
- Site Signage:** Prior to, and during, construction activities, a sign(s), clearly visible from any adjacent roadways, shall be placed by the developer stating the following: "All trees located within an orange fenced area are considered protected. To report any tree protection violations, please contact (phone number designated by the Administrative Official)." The Administrative Official may require the addition of more specific contact information to the sign. Lettering shall be a minimum of 8 inches in height, shall be legible and able to read from a passing vehicle on any adjacent roadway. The sign dimensions shall, at a minimum, be five feet in width and height; the overall sign height shall be a minimum of 8 feet (8') in height measured from the ground to the top of the sign. The sign colors shall be as follows: lettering shall be black, the sign background shall be fluorescent green.

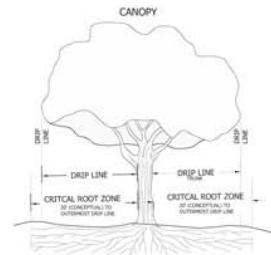


BORING:
BORING OF UTILITIES UNDER PROTECTED TREES SHALL BE REQUIRED IN THOSE AREAS WHERE IT IS NOT POSSIBLE TO TRENCH AROUND THE CRITICAL ROOT ZONE OR PROTECTED TREES. WHEN REQUIRED, THE LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AT A MINIMUM AND SHALL BE A MINIMUM OF 48 INCHES.

- MAKE PARTIAL CUT FROM BENEATH, AT A POINT SEVERAL INCHES AWAY FROM THE TRUNK.
- MAKE A SECOND CUT FROM ABOVE SEVERAL INCHES OUT FROM THE FIRST CUT, TO ALLOW THE LIMB TO FALL SAFELY.
- COMPLETE THE JOB WITH A FINAL CUT JUST OUTSIDE THE BRANCH COLLAR, THE RAISED AREA THE SURROUND THE BRANCH WHERE IT JOINS THE TRUNK.



IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE WITH 2" x 4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE TRUNK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.



CRITICAL ROOT ZONE:

THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS OF FEET EQUAL TO THE NUMBER OF INCHES OF TRUNK DIAMETER.

DROP LINE:

A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.



SAGE GROUP, INC.
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
TEL 817-424-2626

Master Planning
Urban Design
Architecture
Landscape Architecture



APPLICANT
Hat Creek Development
P.O. Box 52747
Southlake, TX 76092
Phone: 817-329-3111
Contact: Kasey Hurlbut

THE LEGACY NORTH
COLLEYVILLE, TEXAS

Issued
Oct 3, 2018
Revisions

SHEET
TP.03

RESOLUTION R-19-XXXX

**A RESOLUTION APPROVING A FINAL PLAT FOR THE LEGACY NORTH
ADDITION**

WHEREAS, the Planning and Zoning Commission recommended approval of the Preliminary Plat for the Legacy North Addition on June 10, 2019.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF COLLEYVILLE, TEXAS:**

Sec. 1. THAT the Final Plat for Legacy North Addition on approximately 17.32 acres, attached as Exhibit "A" - Plat Exhibit, is hereby approved.

AND IT IS SO RESOLVED.

APPROVED BY A VOTE OF ____ AYES, ____ NAYS, AND ____ ABSTENTIONS ON THIS
THE 2nd DAY OF JULY 2019.

Mayor Richard Newton	_____	Mayor Pro Tem Bobby Lindamood	_____
Place 1, Tammy Nakamura	_____	Place 5, Chuck Kelley	_____
Place 3, Kathy Wheat	_____	Place 6, Callie Rigney	_____
Place 4, George Dodson	_____		

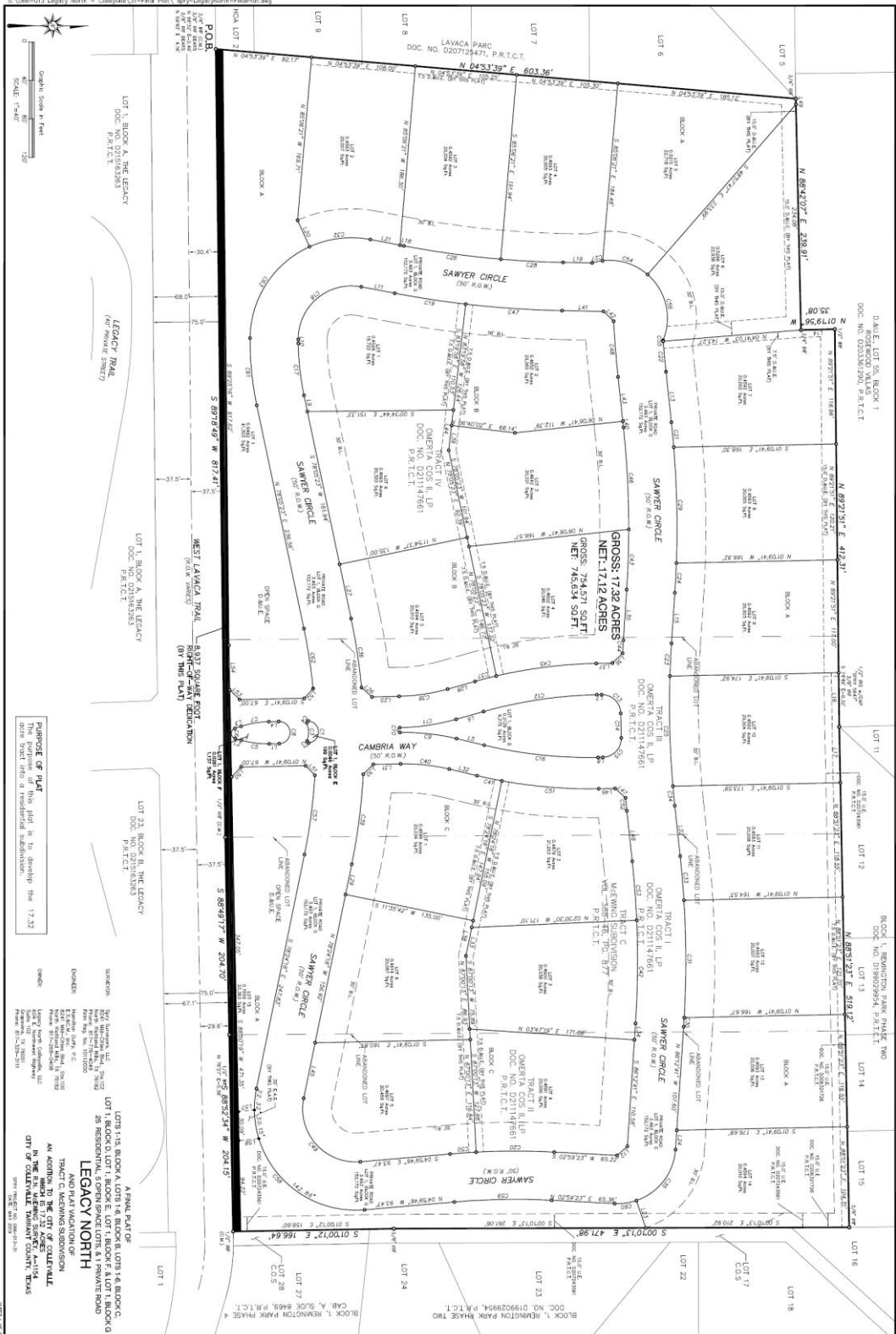
ATTEST:

CITY OF COLLEYVILLE

Christine Loven, TRMC
Assistant City Secretary

Richard Newton
Mayor

May 29, 2019 - 8:31am
S:\066-013 Legacy North - Colleyville\31-Final Plat\ spry-LegacyNorth-FinalPlat.dwg



STATE OF TEXAS
COUNTY OF TARRANT

THENCE North 0

hand.

NOW THEREFORE

WITNESS OUR HANDS

Notary Signature

SURVEYOR CERTIFICATE

accordance with
Collegeville, Texas

REVIEW

North Richmond



CITY COUNCIL APPROVAL

SUBJECT: The City Council of the City of Colorado Springs voted _____ day of _____, 20____, to approve the Resolution attached hereto.

Mayor, City of Colorado Springs _____
Alders, City Secretary _____

PLANNING AND ZONING COMMISSION APPROVAL

SUBJECT: The Planning and Zoning Commission of the City of Colorado Springs voted affirmatively on the _____ day of _____, 20____, to approve this file.

Chairman, Planning and Zoning Commission _____
Members Secretary, Planning and Zoning Commission _____

Game	Rate	Age	Length	Depth	Height	Weight	Delta	Age	Length	Depth	Height	Weight	Delta
1	11.50	3.0	3.0	1.0	1.0	1.0	0.0	1	11.50	3.0	1.0	1.0	0.0
2	11.50	3.0	3.0	1.0	1.0	1.0	0.0	2	11.50	3.0	1.0	1.0	0.0
3	11.50	3.0	3.0	1.0	1.0	1.0	0.0	3	11.50	3.0	1.0	1.0	0.0
4	11.50	3.0	3.0	1.0	1.0	1.0	0.0	4	11.50	3.0	1.0	1.0	0.0
5	11.50	3.0	3.0	1.0	1.0	1.0	0.0	5	11.50	3.0	1.0	1.0	0.0
6	11.50	3.0	3.0	1.0	1.0	1.0	0.0	6	11.50	3.0	1.0	1.0	0.0
7	11.50	3.0	3.0	1.0	1.0	1.0	0.0	7	11.50	3.0	1.0	1.0	0.0
8	11.50	3.0	3.0	1.0	1.0	1.0	0.0	8	11.50	3.0	1.0	1.0	0.0
9	11.50	3.0	3.0	1.0	1.0	1.0	0.0	9	11.50	3.0	1.0	1.0	0.0
10	11.50	3.0	3.0	1.0	1.0	1.0	0.0	10	11.50	3.0	1.0	1.0	0.0
11	11.50	3.0	3.0	1.0	1.0	1.0	0.0	11	11.50	3.0	1.0	1.0	0.0
12	11.50	3.0	3.0	1.0	1.0	1.0	0.0	12	11.50	3.0	1.0	1.0	0.0
13	11.50	3.0	3.0	1.0	1.0	1.0	0.0	13	11.50	3.0	1.0	1.0	0.0
14	11.50	3.0	3.0	1.0	1.0	1.0	0.0	14	11.50	3.0	1.0	1.0	0.0
15	11.50	3.0	3.0	1.0	1.0	1.0	0.0	15	11.50	3.0	1.0	1.0	0.0
16	11.50	3.0	3.0	1.0	1.0	1.0	0.0	16	11.50	3.0	1.0	1.0	0.0
17	11.50	3.0	3.0	1.0	1.0	1.0	0.0	17	11.50	3.0	1.0	1.0	0.0
18	11.50	3.0	3.0	1.0	1.0	1.0	0.0	18	11.50	3.0	1.0	1.0	0.0
19	11.50	3.0	3.0	1.0	1.0	1.0	0.0	19	11.50	3.0	1.0	1.0	0.0
20	11.50	3.0	3.0	1.0	1.0	1.0	0.0	20	11.50	3.0	1.0	1.0	0.0
21	11.50	3.0	3.0	1.0	1.0	1.0	0.0	21	11.50	3.0	1.0	1.0	0.0
22	11.50	3.0	3.0	1.0	1.0	1.0	0.0	22	11.50	3.0	1.0	1.0	0.0
23	11.50	3.0	3.0	1.0	1.0	1.0	0.0	23	11.50	3.0	1.0	1.0	0.0
24	11.50	3.0	3.0	1.0	1.0	1.0	0.0	24	11.50	3.0	1.0	1.0	0.0
25	11.50	3.0	3.0	1.0	1.0	1.0	0.0	25	11.50	3.0	1.0	1.0	0.0
26	11.50	3.0	3.0	1.0	1.0	1.0	0.0	26	11.50	3.0	1.0	1.0	0.0
27	11.50	3.0	3.0	1.0	1.0	1.0	0.0	27	11.50	3.0	1.0	1.0	0.0
28	11.50	3.0	3.0	1.0	1.0	1.0	0.0	28	11.50	3.0	1.0	1.0	0.0
29	11.50	3.0	3.0	1.0	1.0	1.0	0.0	29	11.50	3.0	1.0	1.0	0.0
30	11.50	3.0	3.0	1.0	1.0	1.0	0.0	30	11.50	3.0	1.0	1.0	0.0
31	11.50	3.0	3.0	1.0	1.0	1.0	0.0	31	11.50	3.0	1.0	1.0	0.0
32	11.50	3.0	3.0	1.0	1.0	1.0	0.0	32	11.50	3.0	1.0	1.0	0.0
33	11.50	3.0	3.0	1.0	1.0	1.0	0.0	33	11.50	3.0	1.0	1.0	0.0
34	11.50	3.0	3.0	1.0	1.0	1.0	0.0	34	11.50				

Line	Line ending	Cost	Cost
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2	100.00	100.00	100.00
3	100.00	100.00	100.00
4	100.00	100.00	100.00
5	100.00	100.00	100.00
6	100.00	100.00	100.00
7	100.00	100.00	100.00
8	100.00	100.00	100.00
9	100.00	100.00	100.00
10	100.00	100.00	100.00
11	100.00	100.00	100.00
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97	100.00	100.00	100.00
98	100.00	100.00	100.00
99	100.00	100.00	100.00
100	100.00	100.00	100.00

NOTES

1. The authors state that the purpose of the study was to determine the effect of the TMS condition system of 100% TMS on the condition of the subject's property.
2. The authors state that the purpose of the study was to determine the effect of the TMS condition system of 100% TMS on the condition of the subject's property.
3. The authors state that the purpose of the study was to determine the effect of the TMS condition system of 100% TMS on the condition of the subject's property.
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UTILITY EASEMENT
Any public utility

DEVELOP EXPLICIT CONSENT. The coordinator of this, another agency of the City of Columbia will be directed to prepare a list of all the properties in the city that are subject to the ordinance. The list will be distributed to all the owners of the properties, including all types of legal entities, such as corporations, partnerships, trusts, and individuals. The list will be distributed to the owners of the properties at the time of the annual assessment of the properties. The list will be distributed to the owners of the properties at the time of the annual assessment of the properties. The list will be distributed to the owners of the properties at the time of the annual assessment of the properties.

ABBREVIATIONS

NIS	NOTES
U.N.O.	UNLESS NOTED OTHERWISE
P.R.C.T.	PUBLIC RECORDS OF TARRANT COUNTY, TEXAS
VOL.	VOLUME
PQ.	PAGE
CAB.	CABINET

DOC. NO.	DOCUMENT NUMBER
CM	CONTROLLING INVOICMENT
RF	RFN AND FOUND
P.O.#	POINT OF BEGINNING
CM	CONTROLLING INVOICMENT
RF	RFN AND FOUND
RS	RFN AND SET
ROW	ROW-OF-DAY
BL	BILLING LINE
UE	UTILITY EXPENDIT
DE	DEMAND EXPENDIT
DATE	DATE
TELE	TELEPHONE SERVICE COMPANY
EAL	EXPENDITURE ACCOUNT
COL	COLOR
CONC	CONCRETE
CRD	CREDIT
STAGE	STAGE

PURPOSE OF PLAT
The purpose of this plat is to develop the 17.3-acre tract into a residential subdivision.

SHARON
Sgt. Superior, LLC
654 N. Hudson Ave., #100
Chicago, IL 60610
Tel: 312.467.0000
Fax: 312.467.0000

DORIS
Deborah Doris, P.C.
654 N. Hudson Ave., #100
Chicago, IL 60610
Tel: 312.467.0000
Fax: 312.467.0000

NEC
Lafayette Real Estate, LLC
1000 N. Dearborn St., Suite 100
Chicago, IL 60610
Tel: 312.467.0000
Fax: 312.467.0000

LOT 3 - 18, BLOCK A, LOTS 14, BLOCK B, LOT 15, BLOCK C, LOT 16, BLOCK D, LOT 17, BLOCK E, LOT 18, BLOCK F, LOT 19, BLOCK G, LOT 20, BLOCK H, LOT 21, BLOCK I, LOT 22, BLOCK J, LOT 23, BLOCK K, LOT 24, BLOCK L, LOT 25, BLOCK M, LOT 26, BLOCK N, LOT 27, BLOCK O, LOT 28, BLOCK P, LOT 29, BLOCK Q, LOT 30, BLOCK R, LOT 31, BLOCK S, LOT 32, BLOCK T, LOT 33, BLOCK U, LOT 34, BLOCK V, LOT 35, BLOCK W, LOT 36, BLOCK X, LOT 37, BLOCK Y, LOT 38, BLOCK Z, LOT 39, BLOCK AA, LOT 40, BLOCK AB, LOT 41, BLOCK AC, LOT 42, BLOCK AD, LOT 43, BLOCK AE, LOT 44, BLOCK AF, LOT 45, BLOCK AG, LOT 46, BLOCK AH, LOT 47, BLOCK AI, LOT 48, BLOCK AJ, LOT 49, BLOCK AK, LOT 50, BLOCK AL, LOT 51, BLOCK AM, LOT 52, BLOCK AN, LOT 53, BLOCK AO, LOT 54, BLOCK AP, LOT 55, BLOCK AQ, LOT 56, BLOCK AR, LOT 57, BLOCK AS, LOT 58, BLOCK AT, LOT 59, BLOCK AU, LOT 60, BLOCK AV, LOT 61, BLOCK AW, LOT 62, BLOCK AX, LOT 63, BLOCK AY, LOT 64, BLOCK AZ, LOT 65, BLOCK BA, LOT 66, BLOCK BB, LOT 67, BLOCK BC, LOT 68, BLOCK BD, LOT 69, BLOCK 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City of Colleyville Planning and Zoning Commission Agenda Briefing

City Hall
100 Main Street
Colleyville, Texas 76034
www.colleyville.com

Agenda Number 2b	Agenda Date 6/10/2019	Number
Type Public Hearing Agenda Items		
Department Community Development		

Title

Consideration of a zoning change from the AG Agricultural zoning district to the R-40 Single Family Residential zoning district on a portion of Lot 1R-2, Block 1, of the Mockingbird Hill Addition, located at 6260 Pool Road, Case ZC19-006

Explanation

Grayson Ceballos, the applicant, has submitted a request for a zoning change from the AG Agricultural District to the R-40 Single Family Residential district on a portion of Lot 1R-2, Block 1, of the Mockingbird Hill Addition, being approximately 1.676 acres. The purpose is to rezone from the AG district to the R-40 Single Family Residential district to allow for a consistent zoning on a single-family residential lot. There are no new lots proposed.

Existing Conditions/Background: The subject property, 6260 Pool Road, resides on the west side of Pool Road north of the intersection of Highland Meadow Drive and Pool Road. An Amending Plat was approved and filed in April 2019 creating a 2.94 acre lot. The subject property has both AG & R-40 zoning and is currently undeveloped. The lot previously had a house, but it has been removed.

Proposed Zoning:

Request – The applicant requests to rezone the property from AG to R-40 zoning, a portion of the platted lot. The applicant desires to build a new single-family home. The minimum standards for the R-40 zoning district are as follows:

Minimum Lot Size:	40,000
Minimum Lot Width:	150 feet
Minimum Lot Depth:	150 feet
Front Building Line:	40 feet
Side Building Line:	15 feet
Rear Building Line:	25 feet
Maximum Lot Coverage:	20 percent
Max. Impervious Lot Coverage:	50 percent

Analysis: The applicant is requesting the zoning change because the current property has both AG & R-40 zoning. The AG zoning requires side yard setbacks of 25 feet while the R-40 zoning requires side yard setbacks of 15 feet. The change to the R-40 district would allow for additional buildable area for when a new single-family residential home is constructed. The current size of the property complies with all the minimum standards of the R-40 Single-Family Residential zoning.

Surrounding Development: The properties to the north and south are zoned AG Agricultural, district. A singular property to the south has R-20 zoning. The properties to the west are zoned R-20 Single-family residential district. Property to the east is located in the City of Grapevine across the street on Pool Road. The surrounding lots have developed with single family residences.

Comprehensive Plan: The City's comprehensive plan, *Destination Colleyville*, identifies the subject property for single-family residential development. The proposed R-40 zoning does not conflict with any portion of the comprehensive plan.

Public Notification: Staff mailed notices to all property owners within 500 feet as well as any Homeowners Associations within 1,000 feet of the subject property regarding this request. Grapevine-Colleyville ISD, where the subject property is located, was notified per State law. Notice was published in the *Fort Worth Star-Telegram* as required by State law and the Land Development Code. To date staff has not received any formal responses.

Staff Recommendation: Staff recommends approval of the request. The proposed zoning meets the intent of the residential designation assigned in the Destination Colleyville comprehensive plan.

Recommendation

Approve

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Zoning Exhibit
5. Approved Amending Plat
6. Notification Map
7. Notification List
8. Property Owner Notification
9. Draft Ordinance

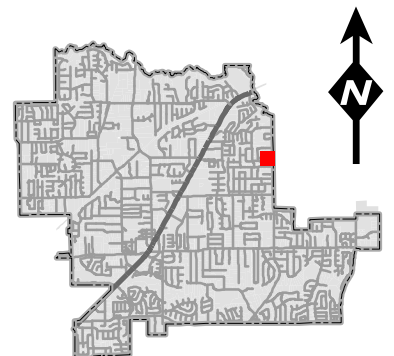
Aerial Map



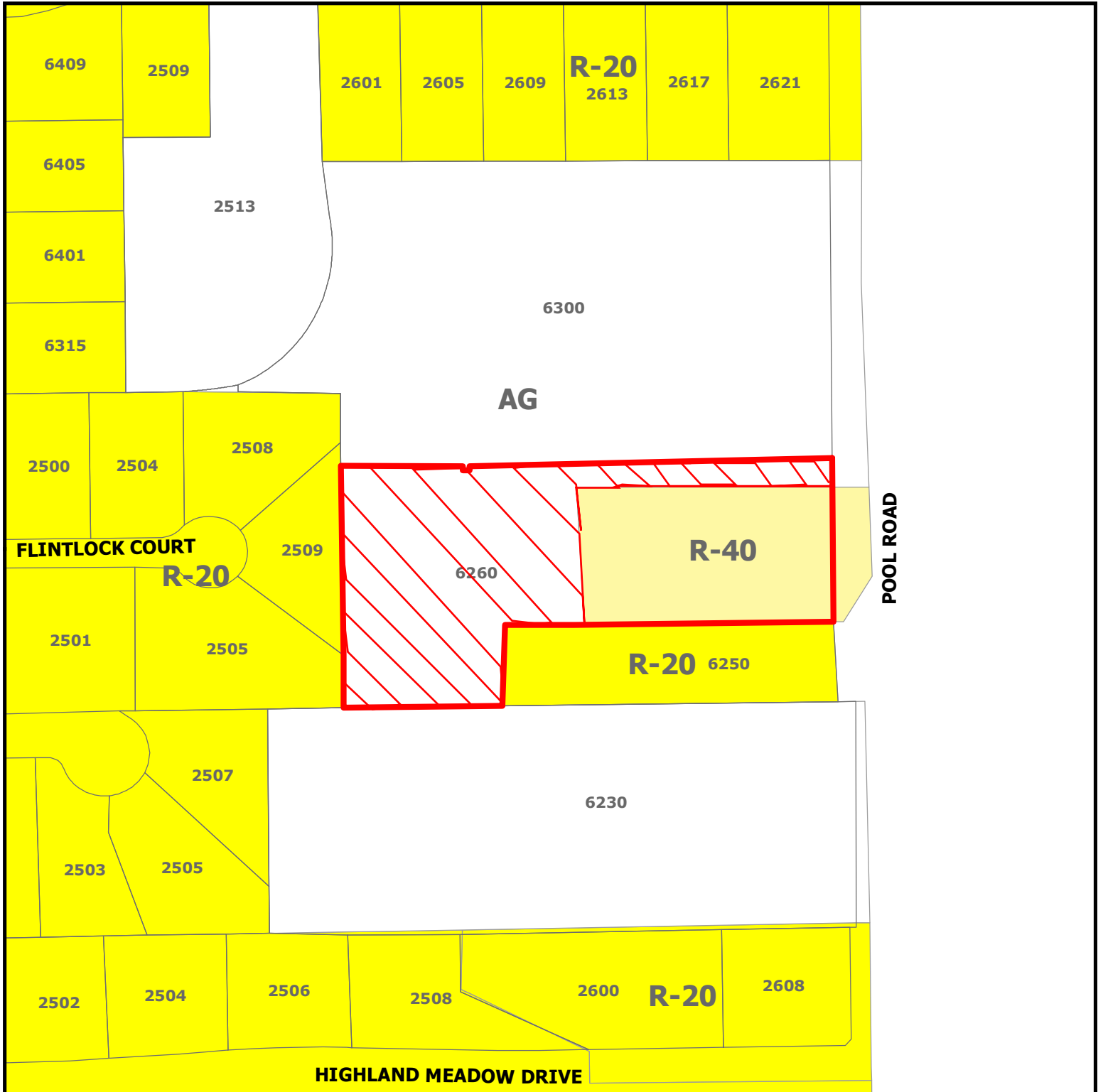
ZC19-006
6260 Pool Road

DISCLAIMER:
This map and information contained in it were developed exclusively for use by the City of Colleyville. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of Colleyville, its officials or employees for any discrepancies, errors, or variances which may exist.

 Subject Property



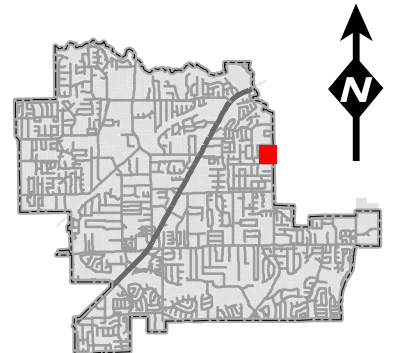
Zoning Map



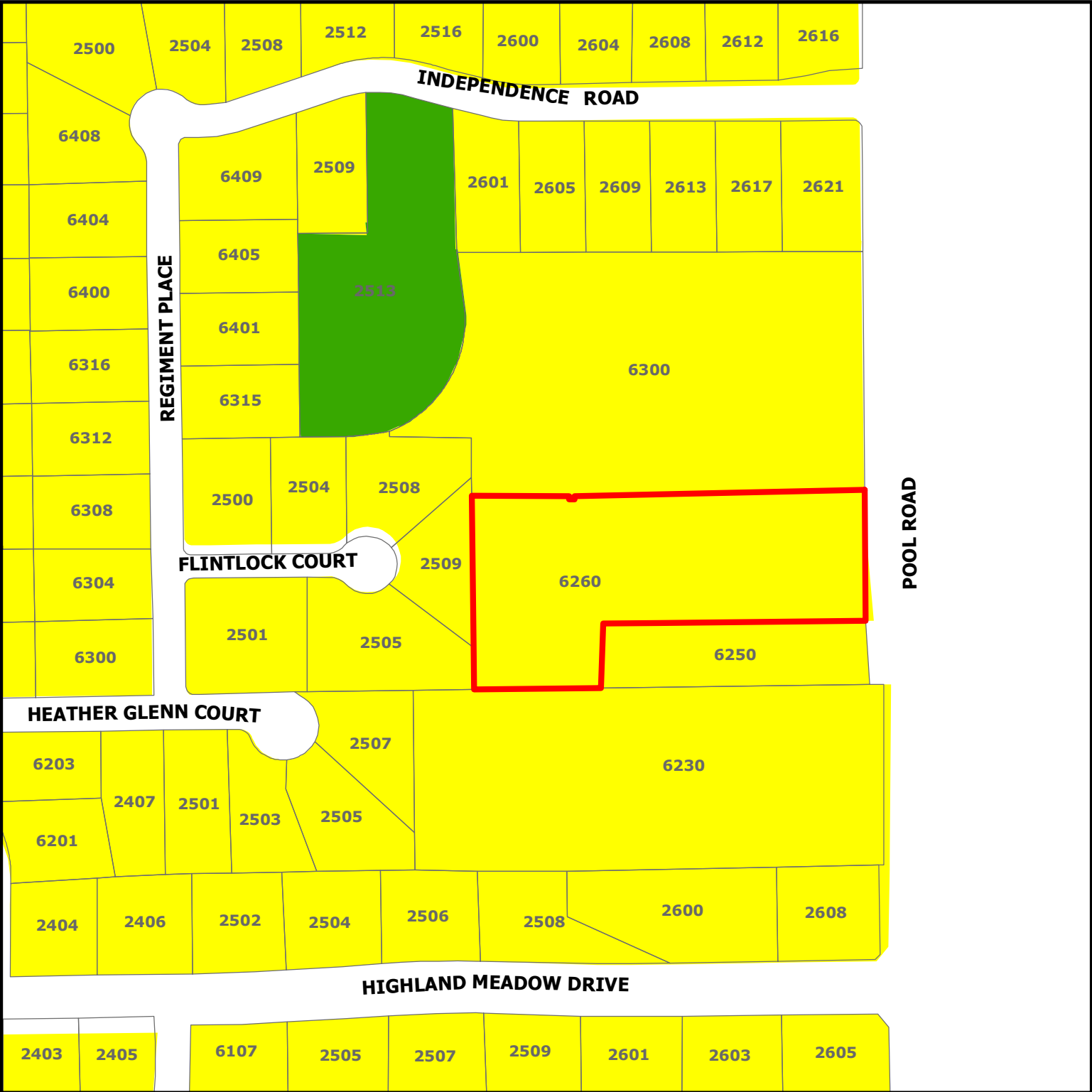
ZC19-006
6260 Pool Road

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 Subject Property



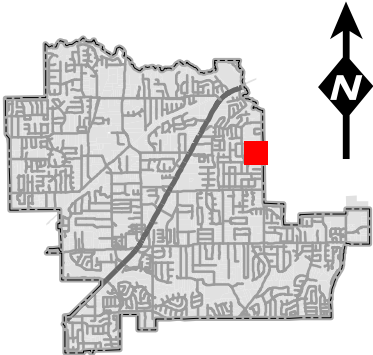
Future Land Use Map



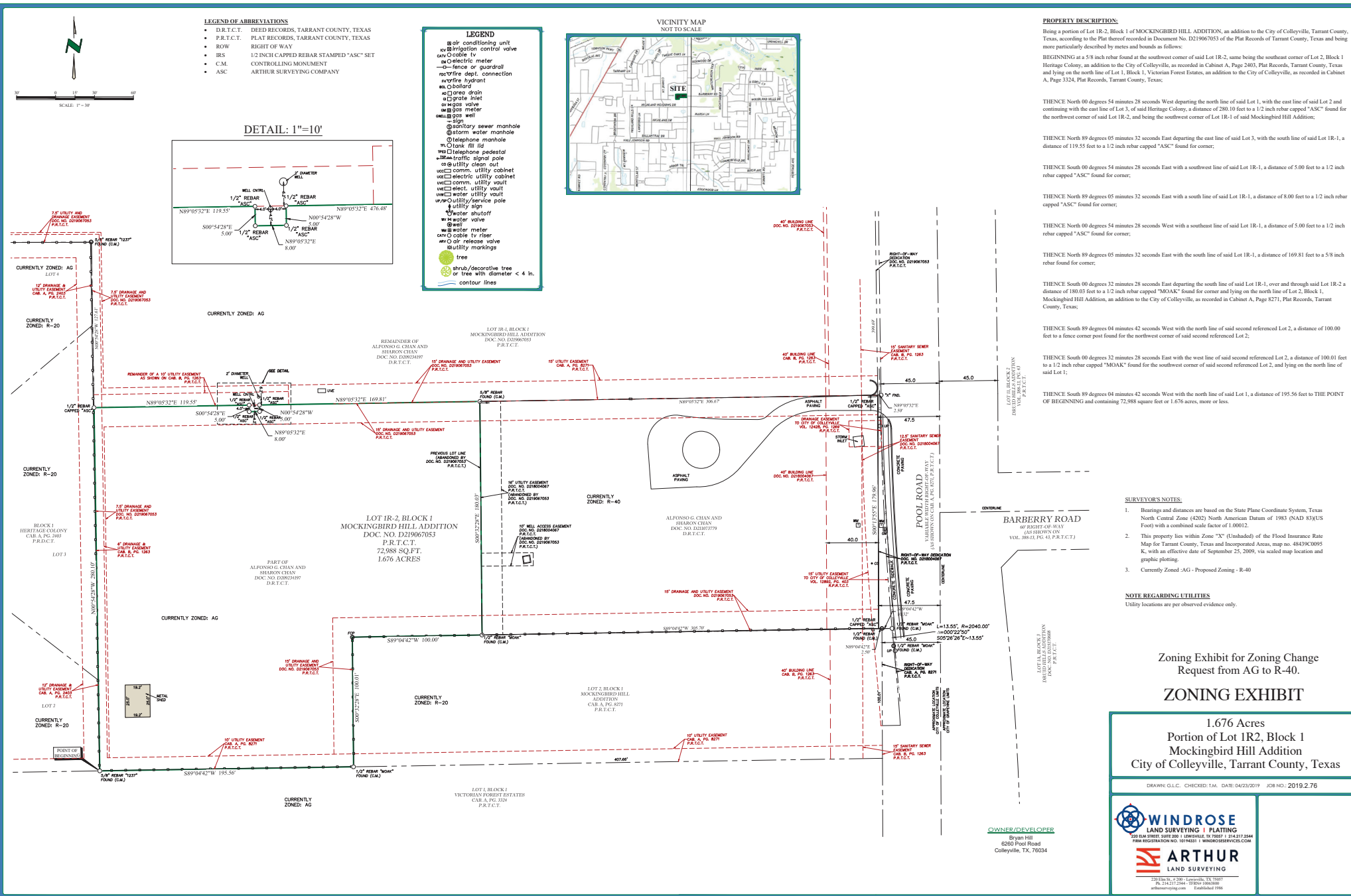
ZC19-006
6260 Pool Road

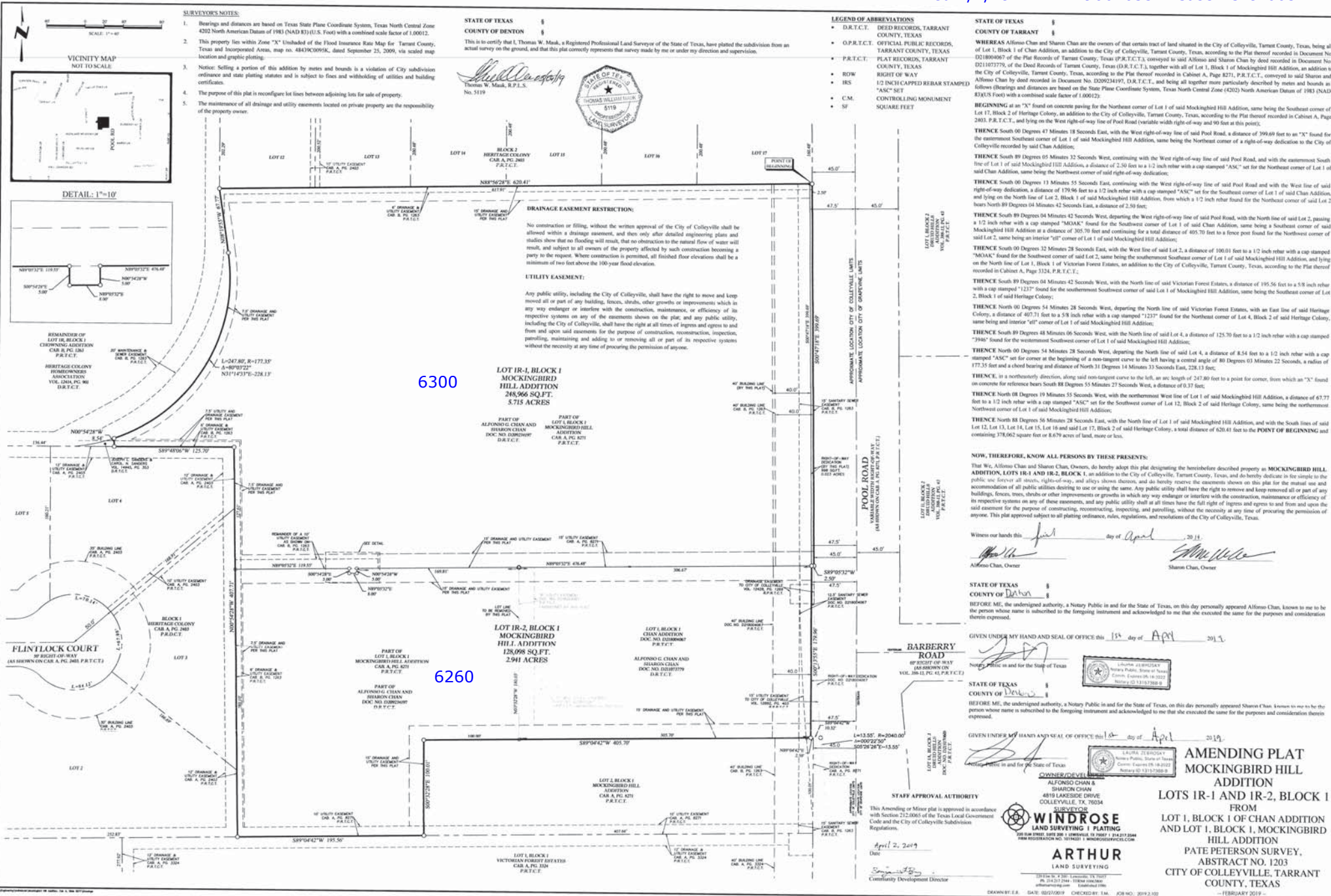
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- Subject Property
- Residential
- Open Space; Parks

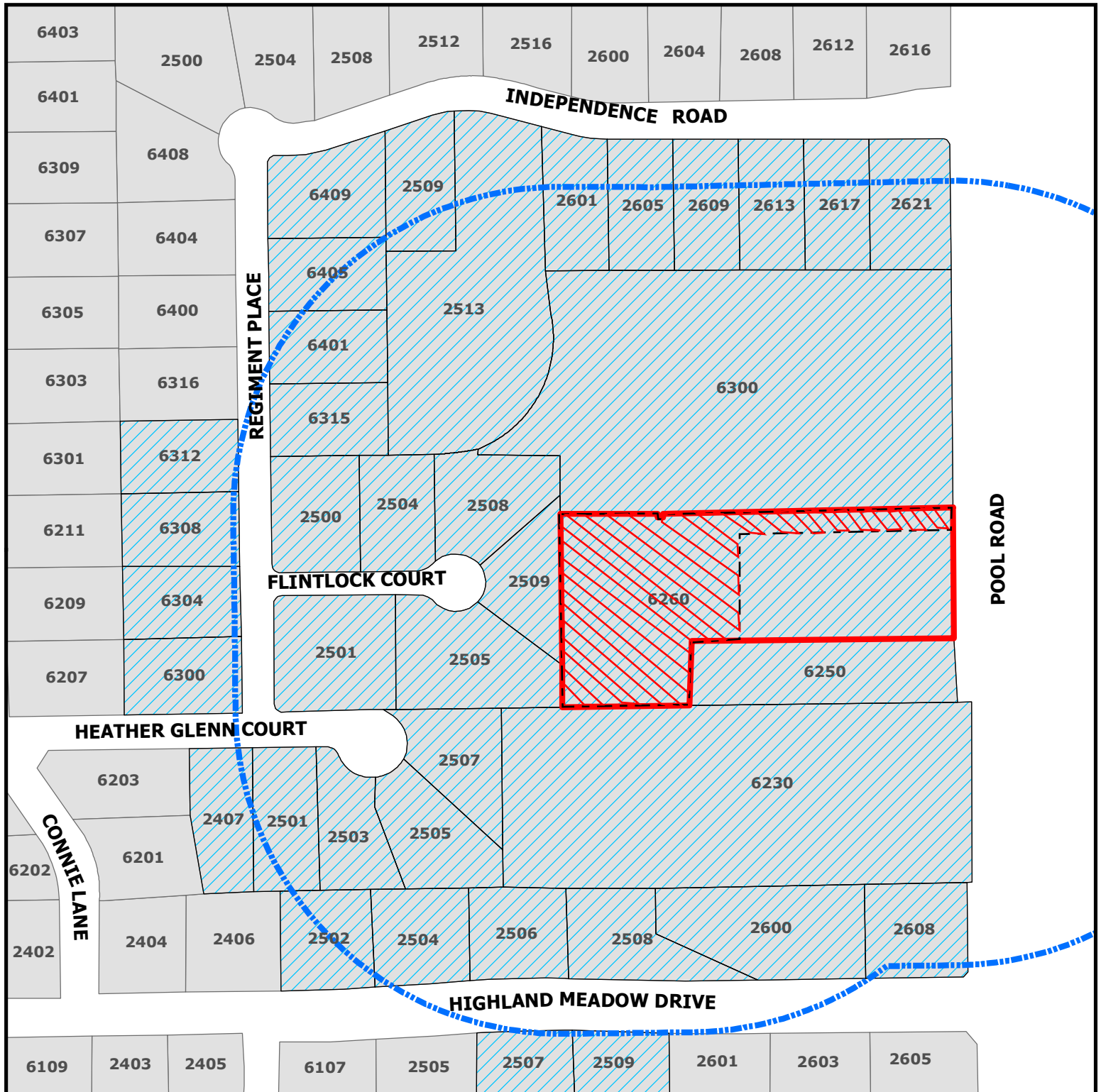


Zoning Exhibit





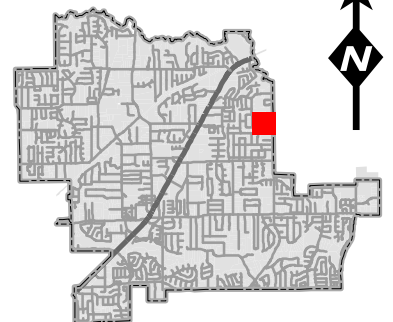
Notification Map



ZC19-006
6260 Pool Road

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-  Subject Property
-  500ft Buffer
-  Properties within 500ft



Notification List

Owner Name	Owner Address	Owner City	Owner Zip	Situs Address
LUEVANO, JAVIER A	2507 HIGHLAND MEADOW DR	COLLEYVILLE, TX	76034	2507 HIGHLAND MEADOW DR
ALIBHAI, MANSOOR G	2682 BRENNER DR	DALLAS, TX	75220	2500 FLINTLOCK CT
ANTHONY, DREY	2503 HEATHER GLEN CT	COLLEYVILLE, TX	76034	2503 HEATHER GLENN CT
ARAB, SALMAN H	2609 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2609 INDEPENDENCE RD
ASH, STEVEN	6308 REGIMENT PL	COLLEYVILLE, TX	76034	6308 REGIMENT PL
BRECHT, WILLIAM	2508 HIGHLAND MEADOW DR	COLLEYVILLE, TX	76034	2508 HIGHLAND MEADOW DR
CAIN, CHRISTOPHER	2601 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2601 INDEPENDENCE RD
CHAN, ALFONSO	6300 POOL RD	COLLEYVILLE, TX	76034	6300 POOL RD
CHAN, ALFONSO	6300 POOL RD	COLLEYVILLE, TX	76034	6260 POOL RD
COWEE, THOMAS J	6304 REGIMENT PL	COLLEYVILLE, TX	76034	6304 REGIMENT PL
CROUSER, MARK L	2621 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2621 INDEPENDENCE RD
DEWAN, MADHUSUDAN	2501 FLINTLOCK CT	COLLEYVILLE, TX	76034	2501 FLINTLOCK CT
F H C TRUST	2140 HALL JOHNSON RD # 102-174	GRAPEVINE, TX	76051	2506 HIGHLAND MEADOW DR
GAUTHIER, NELIDA R	2617 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2617 INDEPENDENCE RD
GULBRANSON, JON CARLO	2605 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2605 INDEPENDENCE RD
HEFNER, ALICIA M	2501 HEATHER GLENN CT	COLLEYVILLE, TX	76034	2501 HEATHER GLENN CT
HERITAGE COLONY HOMEOWNERS ASN	P.O0 BOX 1122	COLLEYVILLE, TX	76034	2513 INDEPENDENCE RD
HEYGOOD, MICHAEL E	2504 FLINTLOCK CT	COLLEYVILLE, TX	76034	2504 FLINTLOCK CT
JACOBI, JAMES A	6250 POOL RD	COLLEYVILLE, TX	76034	6250 POOL RD
JACOBS, DON G	2502 HIGHLAND MEADOW DR	COLLEYVILLE, TX	76034	2502 HIGHLAND MEADOW DR
KHAN, ABDUL RASHID	6315 REGIMENT PL	COLLEYVILLE, TX	76034	6315 REGIMENT PL
KUMAR, RAJ	6405 REGIMENT PL	COLLEYVILLE, TX	76034	6405 REGIMENT PL
MARTIN, HEULIN	2407 HEATHER GLEN CT	COLLEYVILLE, TX	76034	2407 HEATHER GLENN CT
MILLIKEN, PEGGY	6401 REGIMENT PL	COLLEYVILLE, TX	76034	6401 REGIMENT PL
MUSSER, MICHAEL	2509 FLINTLOCK CT	COLLEYVILLE, TX	76034	2509 FLINTLOCK CT
NELSON, DANIEL A	6312 REGIMENT PL	COLLEYVILLE, TX	76034	6312 REGIMENT PL
REED, DAVID S	2613 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2613 INDEPENDENCE RD
RICHARDSON, MICHAEL	2505 FLINTLOCK CT	COLLEYVILLE, TX	76034	2505 FLINTLOCK CT
ROUNKLES, JOSEPH	6409 REGIMENT PL	COLLEYVILLE, TX	76034	6409 REGIMENT PL
SANDERS, JOSEPH L	2508 FLINTLOCK CT	COLLEYVILLE, TX	76034	2508 FLINTLOCK CT
STONE, JACOB	2817 BROOKSHIRE DR	GRAPEVINE, TX	76051	2608 HIGHLAND MEADOWS DR
TEUTSCH, ROBERT	2507 HEATHER GLENN CT	COLLEYVILLE, TX	76034	2507 HEATHER GLENN CT
THE KIMBALL FAMILY LIVING TRUS	2505 HEATHER GLENN CT	COLLEYVILLE, TX	76034	2505 HEATHER GLENN CT
TORKELSON, JULIE	6300 REGIMENT PL	COLLEYVILLE, TX	76034	6300 REGIMENT PL
VALK, DON	4000 N MACARTHUR BLVD STE A132	IRVING, TX	75038	6230 POOL RD
WAGNER, JEDEDIAH	2509 HIGHLAND MEADOW DR	COLLEYVILLE, TX	76034	2509 HIGHLAND MEADOW DR
WRIGHT, GREGORY	6005 LANSFORD LN	COLLEYVILLE, TX	76034	2600 HIGHLAND MEADOWS DR
ZIMMER, WILLIAM	2509 INDEPENDENCE RD	COLLEYVILLE, TX	76034	2509 INDEPENDENCE RD
ZINGA, MICHAEL	2504 HIGHLAND MEADOW DR	COLLEYVILLE, TX	76034	2504 HIGHLAND MEADOW DR
HERITAGE COLONY ADDITION	P.O. BOX 1122	COLLEYVILLE, TX	76034	COURTESY NOTICE
HIGHLAND MEADOWS ADDN	2101 HIGH GATE DRIVE	COLLEYVILLE, TX	76034	COURTESY NOTICE
GRAPEVINE COLLEYVILLE ISD	3051 IRA E WOODS AVE	GRAPEVINE, TX	76051	STATE REQUIRED
CEBALLOS, GRAYSON	220 ELM STREET, SUITE 200	LEWISVILLE, TX	75057	APPLICANT
CITY OF GRAPEVINE	200 S. MAIN STREET	GRAPEVINE, TX	76051	COURTESY NOTICE

Public hearing notices were mailed out on May 22, 2019



NOTICE OF PUBLIC HEARING

«Owner Name»

«Owner Address»

«Owner City»«Owner Zip»

The City of Colleyville has scheduled public hearings concerning the below referenced request on the following dates and location:

Planning and Zoning Commission Meeting: Monday, June 10, 2019 at 7:00 p.m.
City Council Meetings: Tuesday, July 2, 2019 & Tuesday, July 16, 2019 at 7:30 p.m.
3rd floor of City Hall, 100 Main Street, Colleyville, Texas

Request: Consideration of a zoning change from the AG Agricultural zoning district to the R-40 Single Family Residential zoning district. The purpose is to have a single, conforming zoning district in order to allow for a development of a single-family residential lot. No new lots are proposed.

Zoning Case: ZC19-006

Applicant: Grayson Ceballos

Owner: Bryan Hill

Location: 6260 Pool Road

Property Description: A portion of Lot 1R-2, Block 1, of the Mockingbird Hill Addition

Present Zoning: AG Agricultural and R-40 Single Family Residential

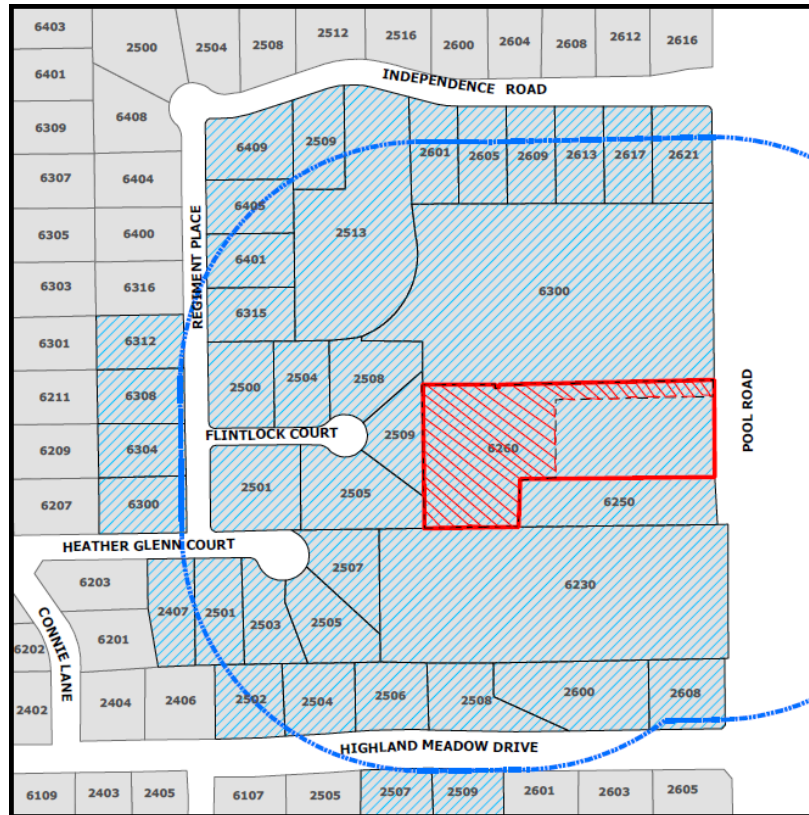
This notice has been sent to all owners of real property within 500 feet of the request as such ownership appears on the last approved tax roll and all homeowners associations within 1000 feet. Approval by the Planning and Zoning Commission serves as a recommendation to the City Council and is not a final action on the request. Denial of the proposal by the Commission is final, unless the applicant submits a written notice of appeal within 10 days from the date of action by the Commission. If appealed, the request will be placed on the next available City Council agenda as listed above. Rezoning requests, zoning amendments and conditions recommended by the Commission for approval by the City Council may be more restrictive than those described in this notice.

All interested persons are encouraged to attend the public hearing and express their opinions on the zoning change request. If you are unable to attend, but wish to have your opinions made a part of the public record, please submit written comments prior to the public hearing, to the address below:

Community Development Department
City of Colleyville
100 Main Street
Colleyville, TX 76034

NOTICE OF PUBLIC HEARING

If the property owners of 20% or more of the land within the 200 foot notification area file a written protest prior to the public hearing, State law provides that the approval of the zoning change request shall require the approval of a super majority vote by City Council.



The application is on file for public examination in the Community Development Department at 100 Main Street, Colleyville, Texas. A brief project description can be found online on the Active Development Case map:

<https://www.colleyville.com/government/departments-a-l/community-development/active-development-cases>

For additional information, please contact the Community Development Department at 817.503.1056. Please reference the zoning case number when requesting information.

Jacquelyn Reyff

Jacquelyn Reyff
Principal Planner

jreyff@colleyville.com

ORDINANCE O-19-XXXX

AMENDING THE ZONING ORDINANCE AND THE OFFICIAL ZONING MAP OF THE CITY OF COLLEYVILLE, TEXAS, BY CHANGING THE ZONING ON 1.676 ACRES, BEING A PORTION OF LOT 1R-2, BLOCK 1, OF THE MOCKINGBIRD HILL ADDITION, LOCATED AT 6260 POOL ROAD, FROM THE AG AGRICULTURAL DISTRICT TO THE R-40 SINGLE FAMILY RESIDENTIAL DISTRICT; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Colleyville has received an application for rezoning under Case ZC19-006; and

WHEREAS, the City of Colleyville deems it necessary, for the purpose of promoting the health, safety, morals, or general welfare of the City to enact a new zoning ordinance; and

WHEREAS, the City Council has appointed a Planning and Zoning Commission to recommend the boundaries of the various original zoning districts and appropriate regulations be enforced therein and to recommend a new zoning ordinance; and

WHEREAS, the Planning and Zoning Commission has divided the City into districts and has prepared regulations pertaining to such districts in accordance with a comprehensive plan designed to lessen congestion in the streets; and to secure safety from fire, panic, and other dangers; to promote health, general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission, has given reasonable consideration to, among other things, the character of the districts and their peculiar suitability for particular uses, with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the City; and

WHEREAS, the Planning and Zoning Commission of the City of Colleyville and the City of Colleyville City Council, in compliance with the Charter of the City of Colleyville, and State Law with reference to changes to zoning classifications under the Zoning Ordinance Regulations and Zoning Map, having given the requisite notices

by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Colleyville is of the opinion that said change in zoning should be made.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF COLLEYVILLE, TEXAS:

- Sec. 1. THAT all the foregoing premises and findings are found to be true and correct and are incorporated into the body of this ordinance as if copied in their entirety.
- Sec. 2. THAT the Comprehensive Zoning Ordinance of the City of Colleyville, Texas, be, and the same is hereby amended by changing the zoning on 1.676 acres, being a portion of Lot 1R-2, Block 1, of the Mockingbird Hill Addition located at 6260 Pool Road, from the AG Agricultural district to the R-40 Single Family Residential district, as depicted in the attached Exhibit "A" and Exhibit "B".
- Sec. 3. THAT the above described tract of land shall be used only in the manner and for the purposes provided by the Comprehensive Zoning Ordinance of the City of Colleyville as heretofore amended, and as amended herein, and subject to the following conditions:
1. As depicted in the attached Exhibit "A" and Exhibit "B".
- Sec. 4. THAT any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Colleyville, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense.
- Sec. 5. THAT if any section, paragraph, subdivision, clause, phrase or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.
- Sec. 6. THAT in addition to and accumulative of all other penalties, the City

shall have the right to seek injunctive relief for any and all violations of this ordinance.

Sec. 7. THAT it has been found that there has been a change in conditions in the above described property, it is now necessary that it be given the above zoning classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare, and requires that this ordinance shall take effect immediately from and after its passage.

AND IT IS SO ORDERED.

The first reading and public hearing being conducted on the 2nd day of July 2019.

The second reading and public hearing being conducted on the 16th day of July 2019.

PASSED AND APPROVED BY A VOTE OF ____ AYES, ____ NAYS, AND ____ ABSTENTIONS ON THIS THE 16TH DAY OF JULY 2019.

Mayor Richard Newton	_____ Mayor Pro Tem Bobby Lindamood	_____
Place 1, Tammy Nakamura	_____ Place 5, Chuck Kelley	_____
Place 3, Kathy Wheat	_____ Place 6, Callie Rigney	_____
Place 4, George Dodson	_____	

ATTEST:

CITY OF COLLEYVILLE

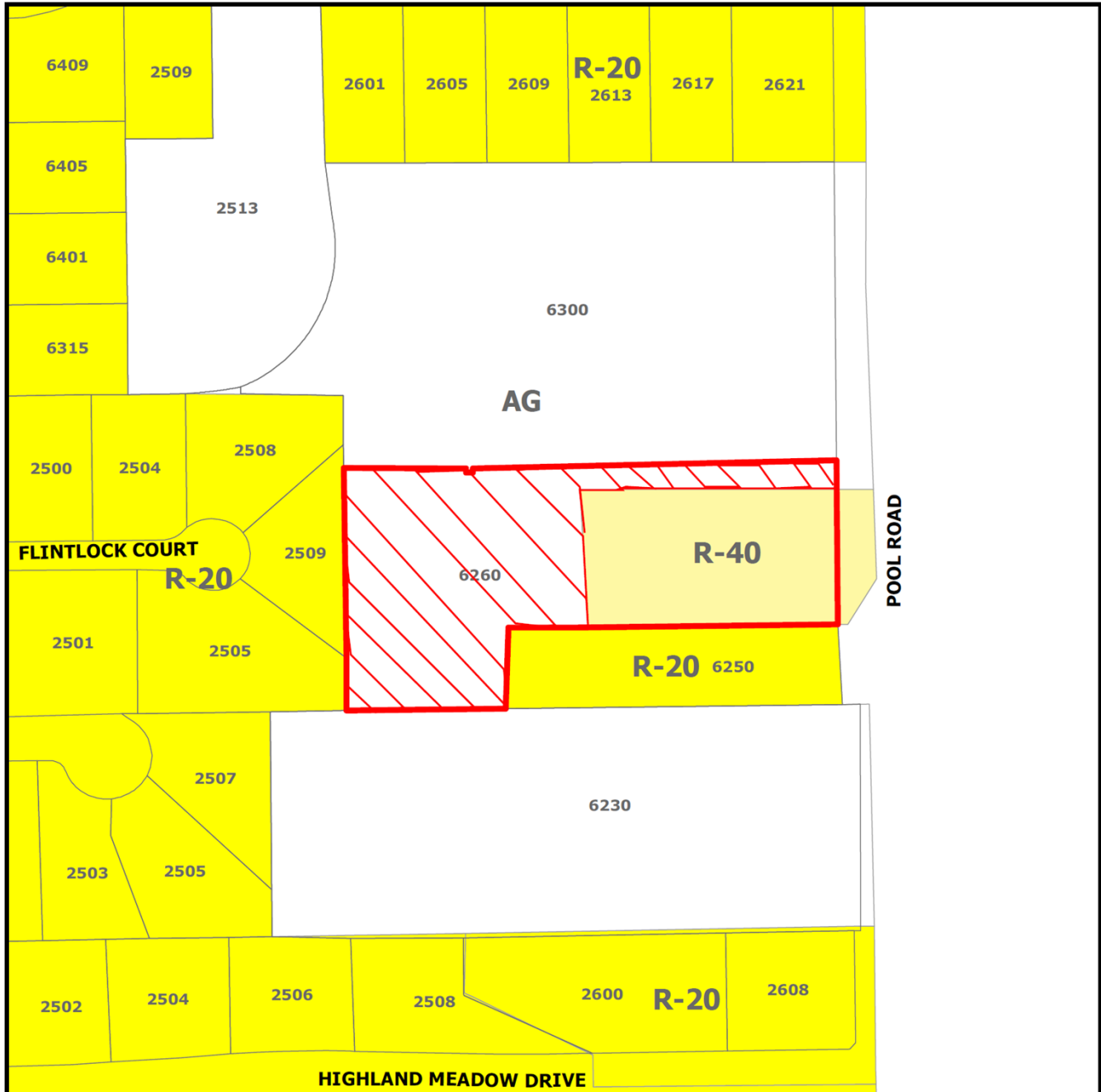
Christine Loven, TRMC
City Secretary

Richard Newton
Mayor

APPROVED AS TO FORM:

Whit Wyatt
City Attorney

Exhibit "A"- Zoning Map



[illegible]