



City of Colleyville

Historical Preservation Committee Agenda

City Hall
100 Main Street
Colleyville, Texas 76034
817. 503.1000
www.colleyville.com

Thursday, November 9, 2017
6:30 p.m.

City Manager's Conference Room
Third Floor, City Hall

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES**
August 17, 2017
- 3. PRESENTATION AND DISCUSSION**
 - 3a** Discussion of the future use of Bidault House and Webb House
- 4. ADJOURNMENT**

I hereby certify this agenda was posted on City Hall bulletin boards Monday, November 6, 2017 by 5:00 p.m.

Dustin Dangli
Marketing Coordinator

A quorum of the Colleyville City Council and/or any other Colleyville Board, Commission, or Committee may be in attendance at this meeting.

Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the Executive Secretary at least 48 hours in advance at 817.503.1110, and reasonable accommodations will be made to assist you.



City of Colleyville Historical Preservation Committee DRAFT MINUTES

City Hall
100 Main Street
Colleyville, Texas 76034
817.503.1000
www.colleyville.com

Thursday, August 17, 2017
6:30 p.m.

City Manager's Conference Room
Third Floor – City Hall

Vice Chair Cynthia Phillips called the Historical Preservation Committee meeting to order on August 17, 2017 at 6:34 p.m.

ROLL CALL: Committee members George Bond, Marilyn Keith, Walt Mills, Cynthia Phillips, Joe Deupree, Ryan Moore and were present.

Assistant to the City Manager James Hubbard was also present.

2. APPROVAL OF MINUTES

May 11, 2017

Vice Chair Phillips made a motion to approve the May 11, 2017 meeting minutes. Committee member Walt Mills seconded. All approved by acclamation.

3. PRESENTATION AND DISCUSSION

3a Discussion of historical photos in City Hall

The Committee met in the 1st floor lobby of City Hall to review the placement and size of five historical pictures to be professionally enlarged and mounted. Mr. Mills agreed to help with pre-print editing of the photos and recommended a local company to perform the printing and mounting on professional foam board.

Mr. Hubbard agreed to order and hang the pictures, to include small engraved plaques with information about each picture.

3b Update on Bidault House and Webb House

Vice Chair Phillips discussed the Texas State Historic Commission Handbook – Historic Preservation Handbook for Texans. She expressed an interest in a public/private partnership use for the Bidault House. Ms. Phillips mentioned starting a 501c3 to allow for fundraising efforts for the Bidault House. Committee member Deupree stated that a 501c3 already existed.

Committee Member Moore stated communication efforts regarding historic sites in Colleyville needed to be furthered to garner citizen interest. Suggested this could be done using the E-news, Communicator, and social media.

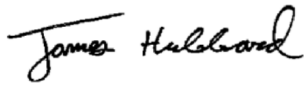
3c Discussion of Fitzgerald Historical Collection

The Committee discussed the possibility of a private individual conducting a video interview with Mr. Fitzgerald.

6. ADJOURNMENT

The Historical Preservation Committee meeting adjourned at 7:21 p.m.

Minutes taken and prepared by:

A handwritten signature in black ink that reads "James Hubbard". The signature is written in a cursive style with a large, stylized "J" and "H".

James Hubbard
Assistant to the City Manager



City of Colleyville Historical Preservation Committee Agenda Briefing

City Hall
100 Main Street
Colleyville, Texas 76034
www.colleyville.com

Agenda Number 3a	Agenda Date 11/09/2017	Number
Type Worksession		
Department City Manager		
Title		

Discussion of the future use of Bidault House and Webb House

Strategic Plan

5.1 Create and sustain an identifiable Colleyville brand

Explanation

In August 2017, Hidell and Associates Architects was engaged to conduct an assessment of the Bidault House and the Webb House. The assessment includes structural integrity, building systems, finishes, and layout. The report (attached) recommends the repairs and modifications necessary to enable the structures to be used for public purposes, as well as estimates of the associated costs. Staff will provide a presentation that summarizes the findings and recommendations in the report.

This presentation was made at the October 10, 2017 City Council Worksession. The City Council requested that it be shared with the Historical Preservation Committee and the Parks and Recreation Advisory Board as well, to gather additional input and feedback on the repair recommendations and future use of the properties.

Attachments

1. Bidault House and Webb House Presentation
2. Final Report

Bidault House & Webb House Property Assessment

October 10, 2017
City Council Worksession

Objective



- Perform a thorough investigation of the Bidault House and Webb House to assess the modifications required for public use

Bidault House

1416 Glade Road



Webb House

400 Shelton Drive



Assessment



- Contracted with Hidell and Associates Architects, Inc.
- Provide an assessment of the properties' current conditions
 - Structural integrity
 - Building systems
 - Finishes
 - Layout
- Provide recommendations for repairs and associated costs to enable the structures to be used for public purposes

Bidault House Assessment

Bidault House: 360 degrees



South



East



North



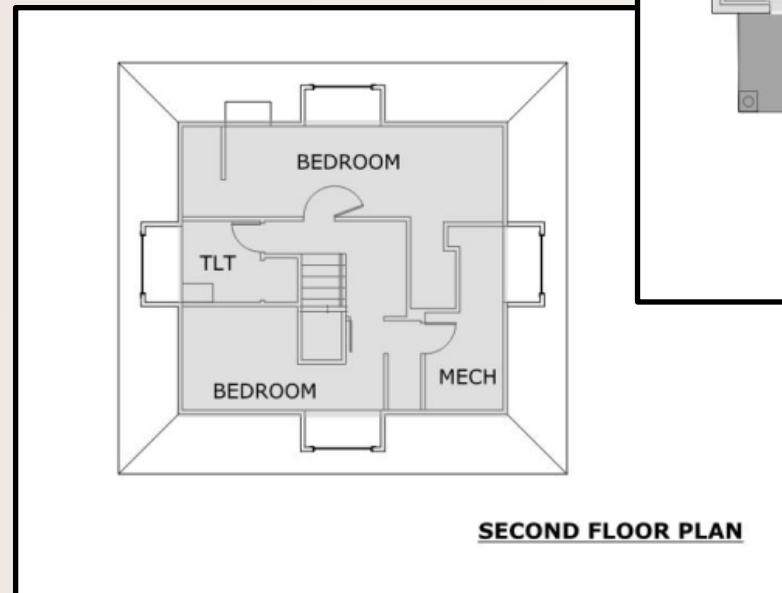
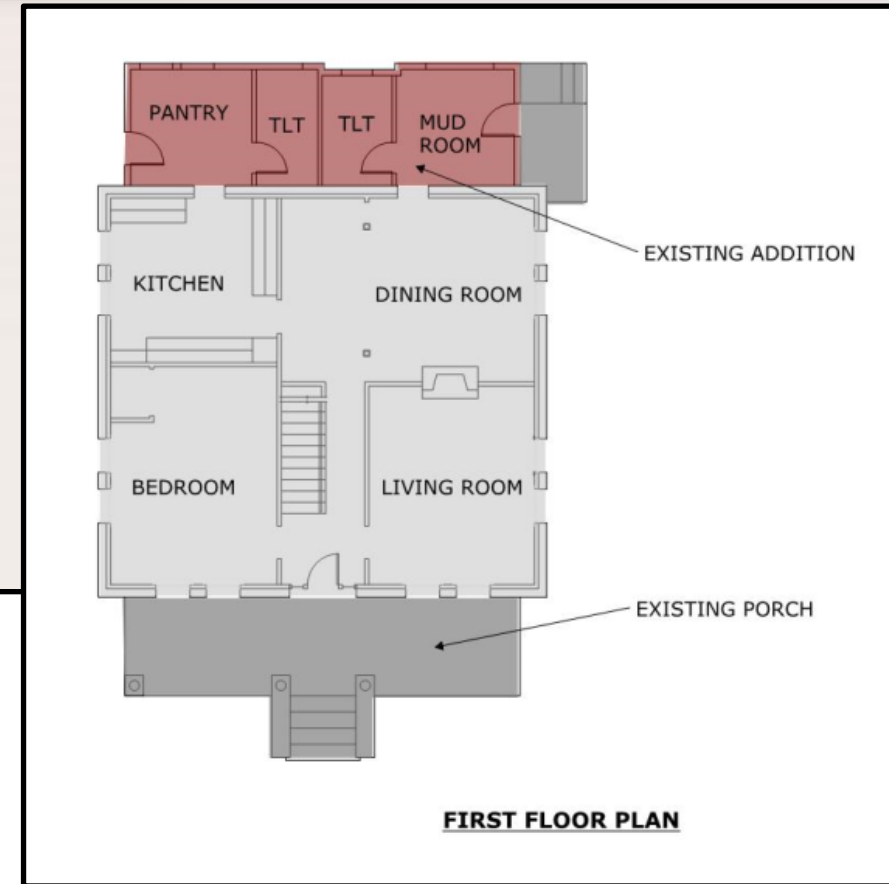
West

Bidault House: Background

- Approximately 0.846 acres
- Originally constructed in 1911
- Two-story residential property
- Single story detached garage
- Addition (318 s.f.) added to the north of the structure (date unknown)
- Given a Texas Historical Commission designation in 1980



Bidault House: Configuration



Bidault House: Current Condition



- No paved parking
- Exterior recently painted and generally in good condition
- Asphalt shingle roof generally in good condition
- Windows are original and generally in good condition
- HVAC is split system:
 - Gas furnace in 2nd floor attic area (less than 15 years old and appears to be in good working order)
 - Condensing unit at grade on east side of house (over 15 years old and recommended to be replaced)

Bidault House: Current Condition



- Water & sewer service present – plumbing will need to be revised to meet accessibility standards and improve flexibility of interior layout
- Electrical service has modern circuit panel with copper wiring distribution to outlets and light fixtures, but does not meet code requirements
- Detached garage generally in good shape
- Site includes an existing well with pump-house



Bidault House: Requirements



Requirements are based on use of the facility for public occupancy, to meet code and accessibility standards.

ZONING REQUIREMENTS

- Using the property for commercial or governmental purposes will require an SUP.

BUFFER REQUIREMENTS

- 25' set back on east and north property lines
- 20' greenbelt of "live" planting
- 6' height fence at property line

LANDSCAPE REQUIREMENTS

- 20% of the total land area in any proposed development shall be landscaped.
- At least 50% of the total landscaped area shall be in the street yard.

ADA REQUIREMENTS

- Accessible route from handicap parking to facility. This will require a new ramp system.
- The entry door shall be a minimum of 32" wide with a threshold less than 1/4"
- If the second floor is used for public purposes it shall be accessible per ADA standards, which would require an elevator. This report assumes the second floor will not be used.
- The interior configuration shall include a minimum of (1) ADA accessible restroom.
- If used for assembly purposes with an interior space with over 49 occupants, a second exit will be required to be ADA accessible.

Bidault House: Requirements



Requirements are based on use of the facility for public occupancy, to meet code and accessibility standards.

PLUMBING FIXTURE REQUIREMENTS

- The ultimate use of the facility will dictate the allowable occupancy and restroom fixtures required. For the purposes of this review, the most stringent occupancy has been used (A-3) assembly. Due to the size of the first floor (1211 s.f.) it is reasonable to assume the occupancy load would range between 38-48.

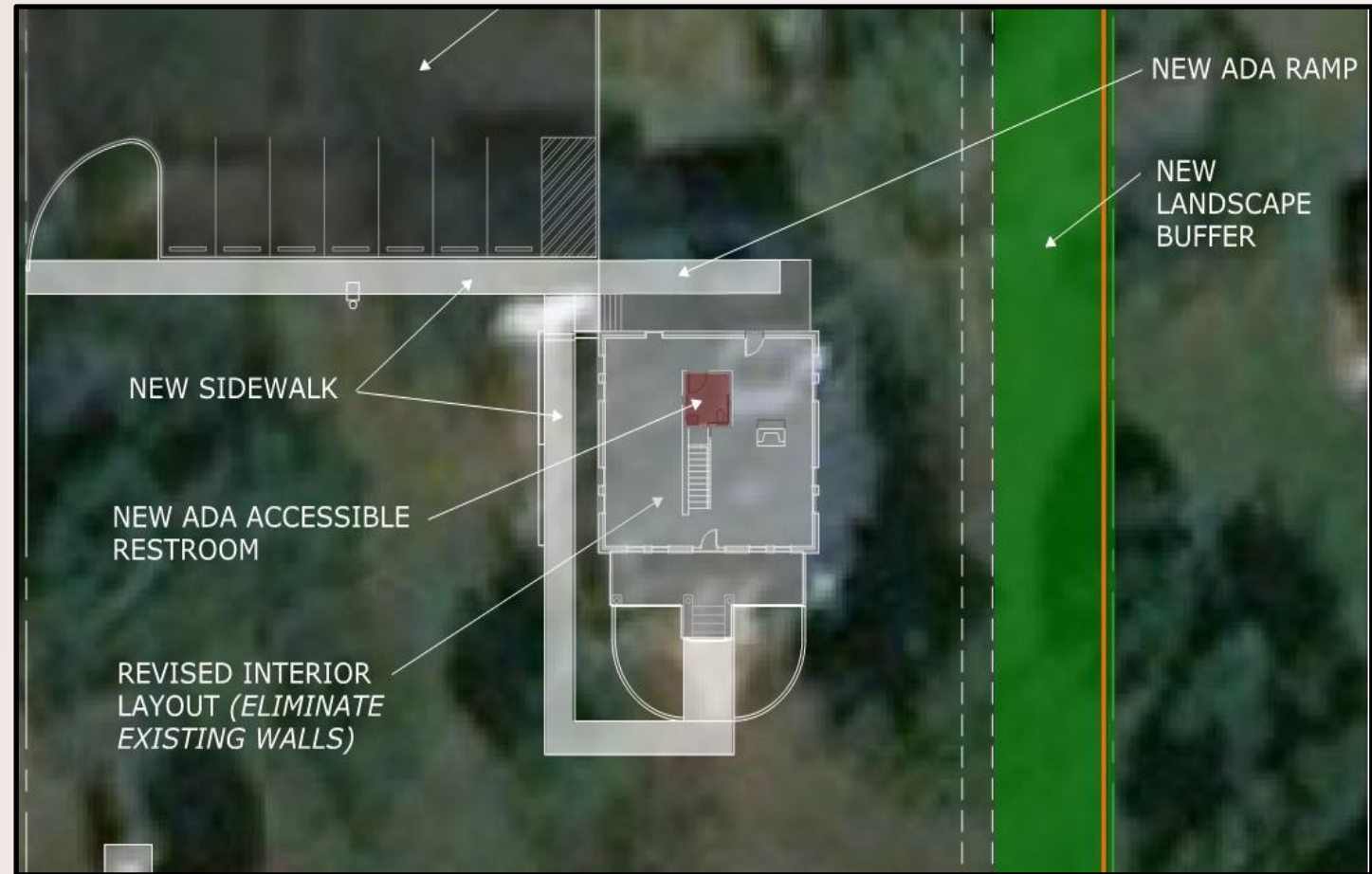
PARKING REQUIREMENTS

- Classified as a Museum, office or government building will require one space for every 300 sf (7 spaces)
- One handicap space per Texas Accessibility Standards

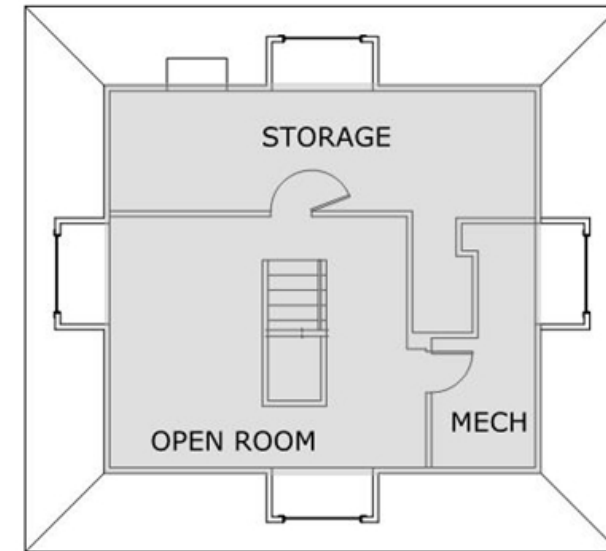
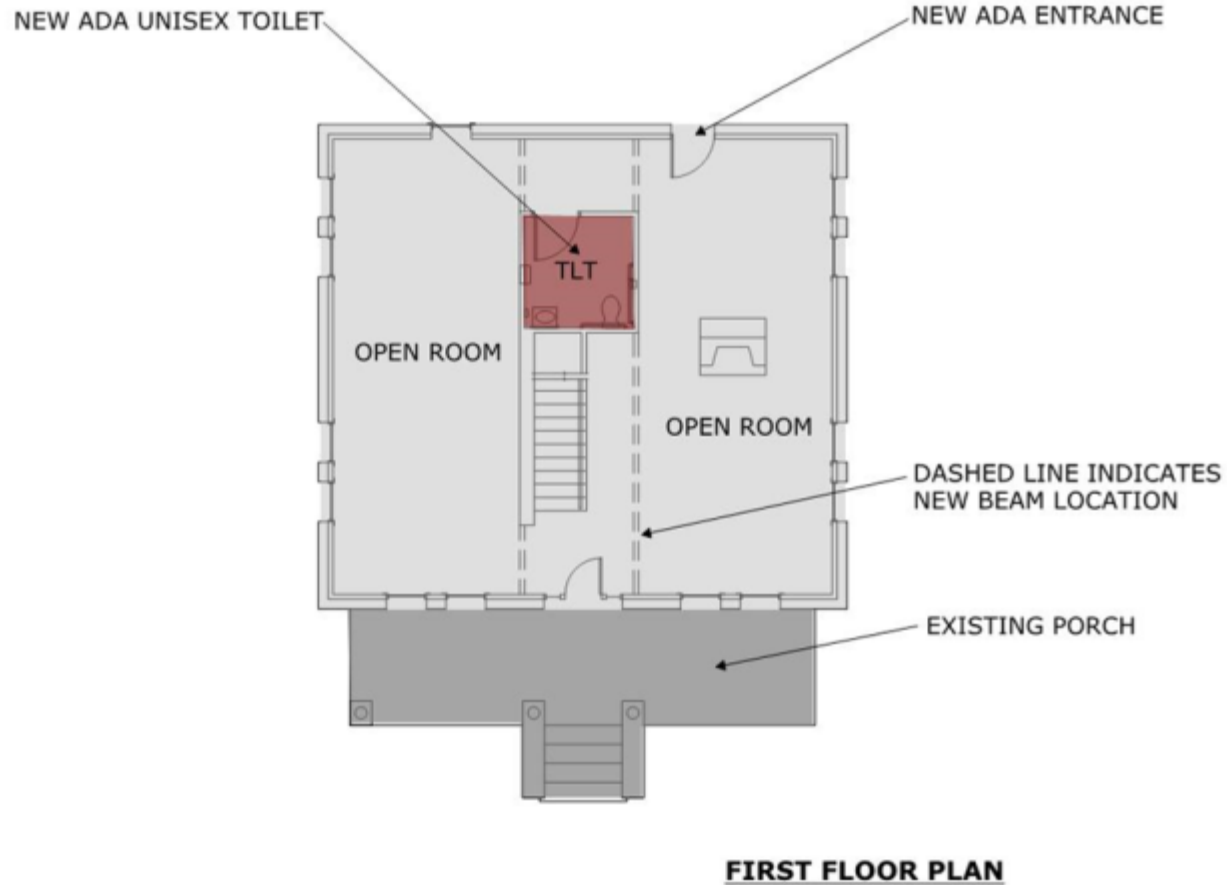
HISTORICAL DESIGNATION REQUIREMENTS

- The Historic Designation from the Texas Historical Commission relates to the exterior architectural character of the structure, specifically the pressed concrete block exterior.
- The addition on the north end of the structure is not constructed of the cast concrete block and has foundation issues. The addition can be removed pending approval by the Texas Historical Commission and could be replaced with the new ramp required for ADA compliance.

Bidault House: Repairs



Bidault House: Repairs



This report assumes the second floor will remain, but will not be used by the public.



Bidault House: Cost Estimates

SITE COST

New parking lot and street access	\$64,000
New sidewalk from structure to public way	4,750
New ADA accessible ramp	15,000
New privacy fence	6,200
New parking lot lighting	9,000
<u>Landscaping</u>	<u>By Owner</u>
Sub total	\$98,950

TOTAL COST

Sub total Site Cost	\$98,950
Sub total Structure Cost	121,660
<u>Engineering Fees</u>	<u>20,000</u>
Total Project Cost	\$240,610

STRUCTURE COST

Demo existing addition	\$15,900
Restore existing north wall	25,920
Interior wall configuration	9,200
New ADA restroom	21,000
New HVAC system	16,000
New flooring (hardwood)	10,800
Interior painting	3,600
<u>New electrical service, distribution, lighting</u>	<u>19,240</u>
Sub total	\$121,660

Bidault House: Potential Uses



- Museum for public education open a few days each month
 - Rent for commercial use (individual has expressed interest)
-

For the individual interested in operating the Bidault House as a tea room-type facility, the following stipulations have been expressed:

- The City bears the cost of the initial investment, to bring the building up to a "blank canvas" point; individual would bear additional costs to provide for use as a tea room and pay rent
- A minimum of 20 parking spaces
- Individual would also be willing to negotiate purchase of the building for an amount similar to the City's purchase and investment

Webb House Assessment

Webb House: 360 degrees



South



East



North



West

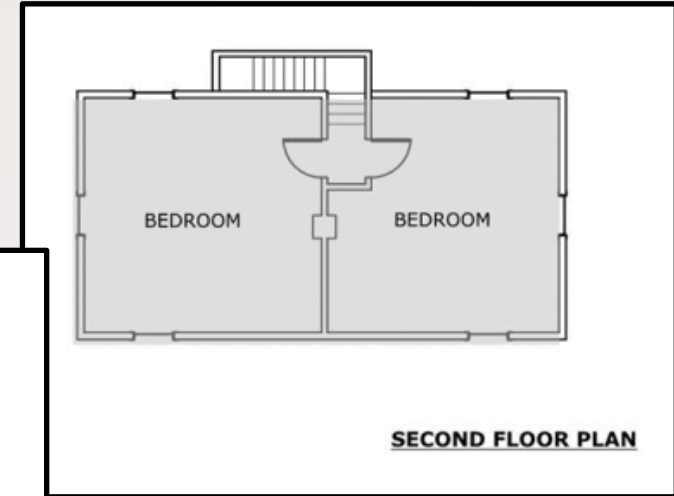
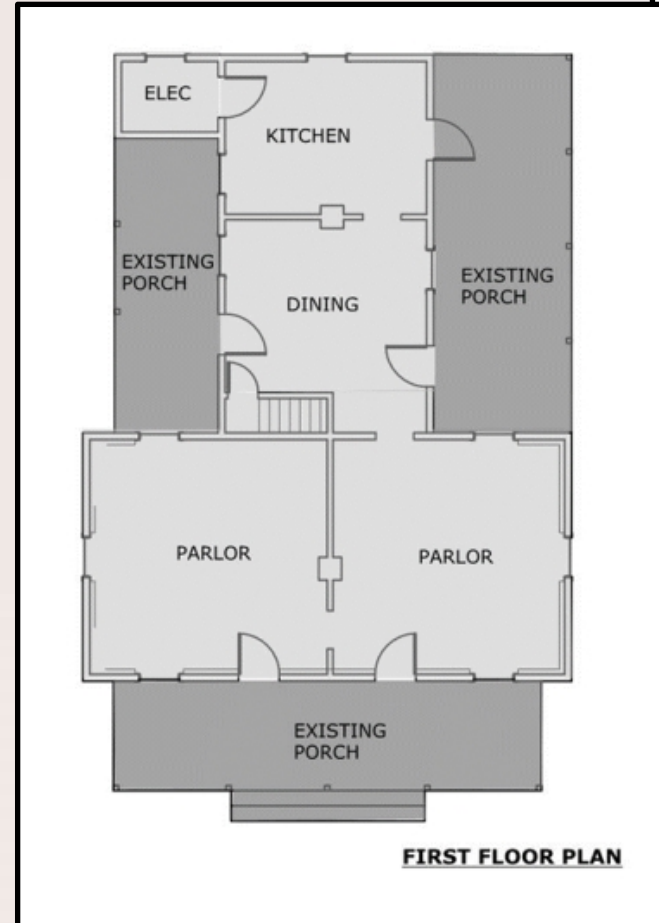
Webb House: Background



- Two-story residential property
- Original construction date unknown
- Modified in 2002
- Site of approximately 3.03 acres
- Connection to the Cotton Belt Trail via paved path



Webb House: Configuration



Webb House: Current Condition



- 12 off-street parking spaces (1 handicap)
- Interior finishes generally in good condition
- HVAC is close to its lifespan
- New electrical service in 2002 renovation
- Exterior consists of wood siding and a wood shingle roof- both require repair/replacement
- Site includes single-story detached accessible restroom (2002)
 - The restroom is located at grade, below the finished floor of the existing home structure. To use the restroom, the public is required to exit the structure, and walk, without benefit of a cover (canopy, roof) to the restroom. For many public occupancy uses, this path of travel to a restroom violates code requirements.



Webb House: Current Condition



- Windows are original and generally in good condition
- Structure was inspected in 2015 and tested positive for lead based paint on the exterior and interior of the structure.
 - Any repairs or renovations which disturb the existing lead based paint are subject to best standard practices for removal and remediation.
 - Two options concerning the paint- removal (abatement) or encapsulation. Encapsulation will require the existing surfaces with paint to be coated or new walls installed over them.
- Water & sewer service present – plumbing will need to be revised to meet accessibility standards and improve flexibility of interior layout

Webb House: Requirements



Requirements are based on use of the facility for public occupancy, to meet code and accessibility standards.

ZONING REQUIREMENTS

- Met

PARKING REQUIREMENTS

- Met

LANDSCAPE REQUIREMENTS

- Met

PLUMBING FIXTURE REQUIREMENTS

- The ultimate use of the facility will dictate the allowable occupancy and restroom fixtures required. For the purposes of this review, the most stringent occupancy has been used (A-3) assembly. Due to the size of the first floor (914 s.f.) it is reasonable to assume occupancy load would range between 30-40.

ADA REQUIREMENTS

- Accessible route from handicap parking to facility. This will require a new ramp system.
- The entry door shall be a minimum of 32" wide with a threshold less than 1/4"
- If the second floor is used for public purposes it shall be accessible per ADA standards, which would require an elevator. This report assumes the second floor will not be used.
- If restrooms are located inside the structure, they must be ADA compliant.
- If used for assembly purposes with an interior space with over 49 occupants, a second exit will be required to be ADA accessible.

Webb House: Requirements



Requirements are based on use of the facility for public occupancy, to meet code and accessibility standards.

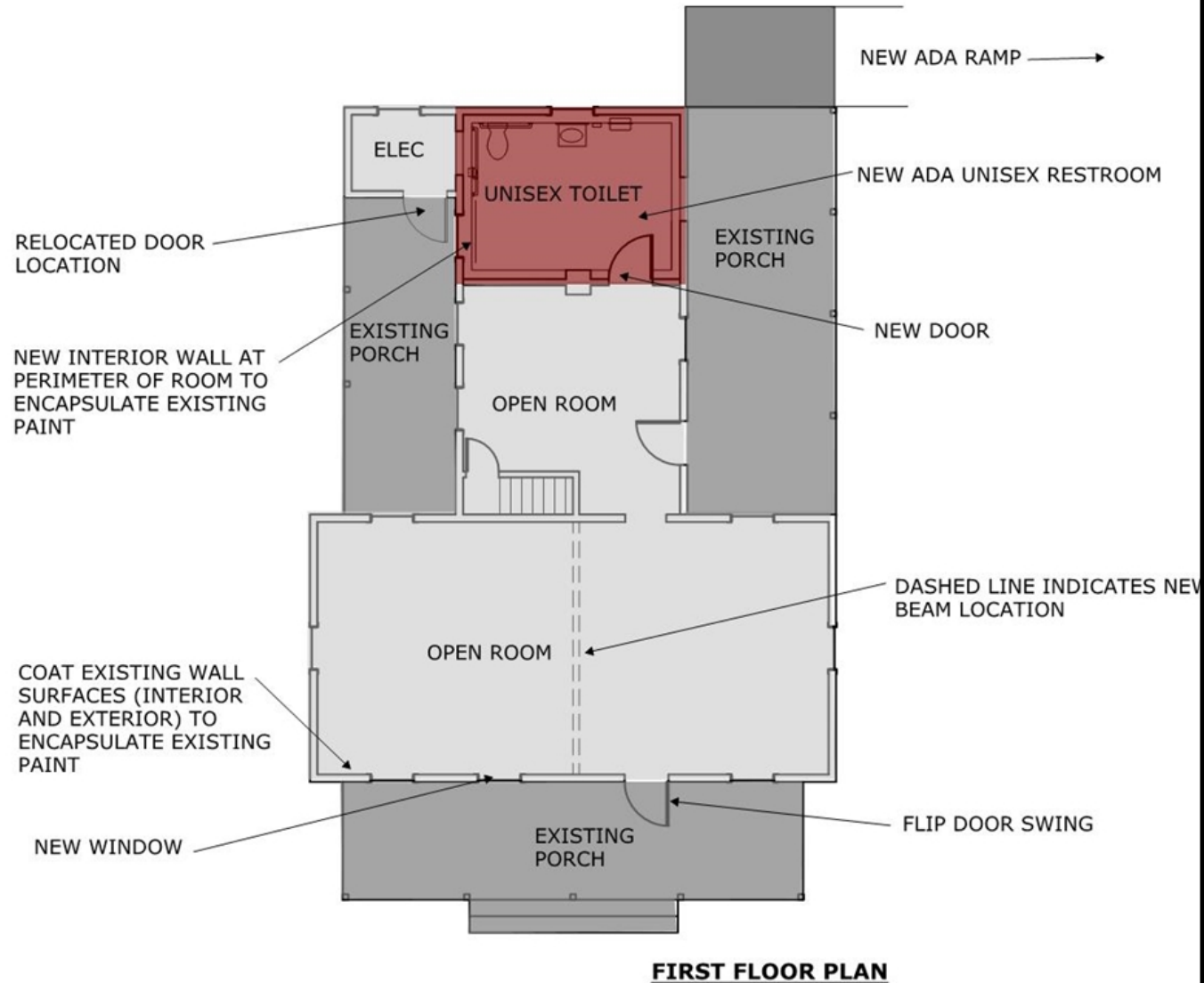
LEAD BASED PAINT HANDLING

- If these coatings are disturbed during renovations the workers are subject to the requirements in OSHA Construction Standard for Lead (CFR 1926.62).
- In addition to OSHA worker protection requirements any waste generated by the operations that would disturb these materials should be considered potentially hazardous and waste characterization should be performed prior to offsite waste shipment, to determine the proper disposal requirements.
- The report includes cost for two options: Total removal of all Lead Based Paint and encapsulation of the Lead Based Paint. It should be noted that all renovations should be done by an EPA Lead-Safe Certified Renovator who will know how to safely work around lead paint and keep it from spreading during renovations. It is assumed encapsulation is the preferred method.

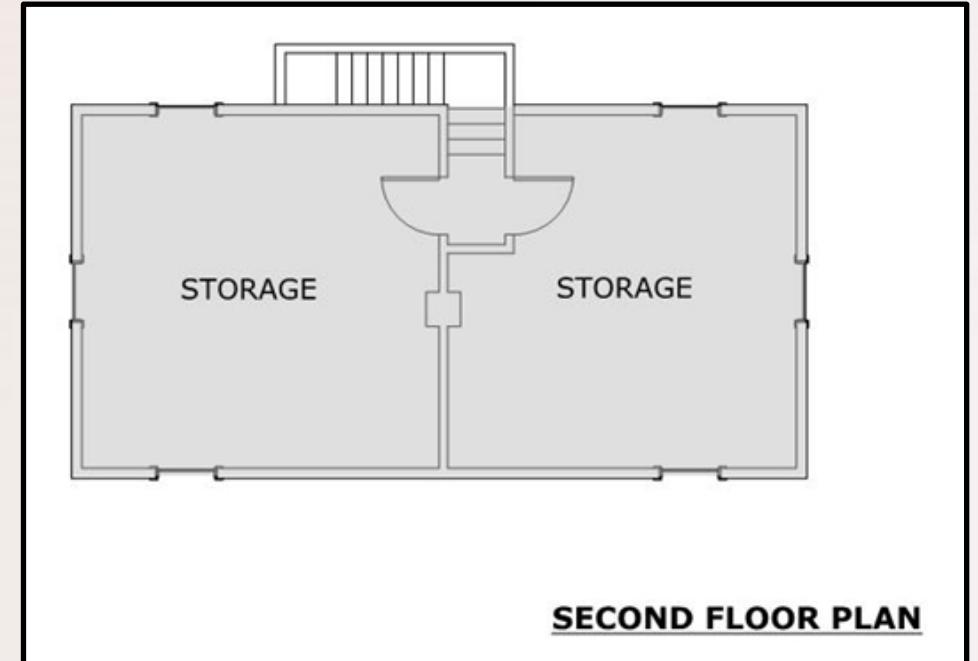
Webb House: Repairs



Webb House: Repairs

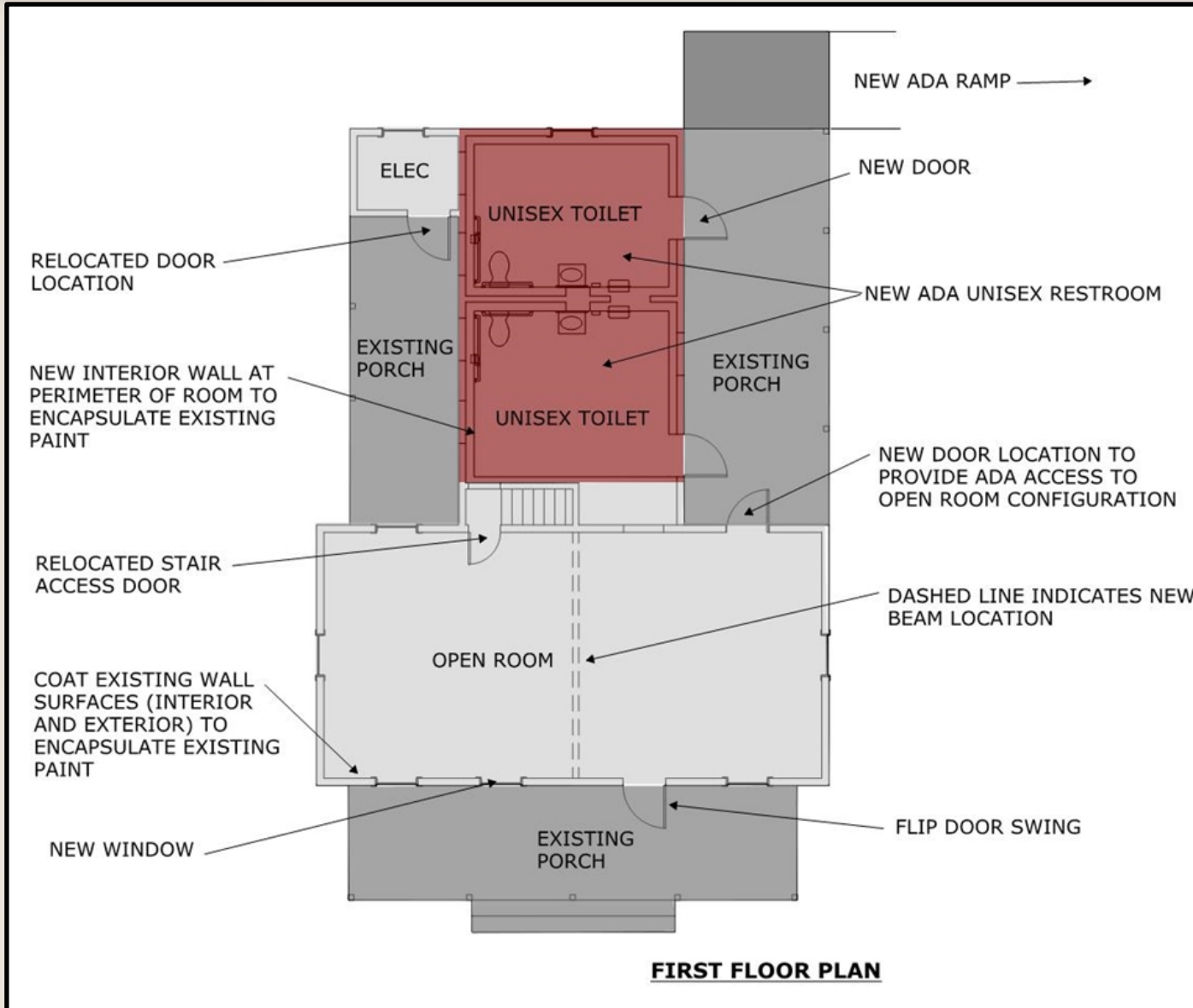


Trail Restroom Option

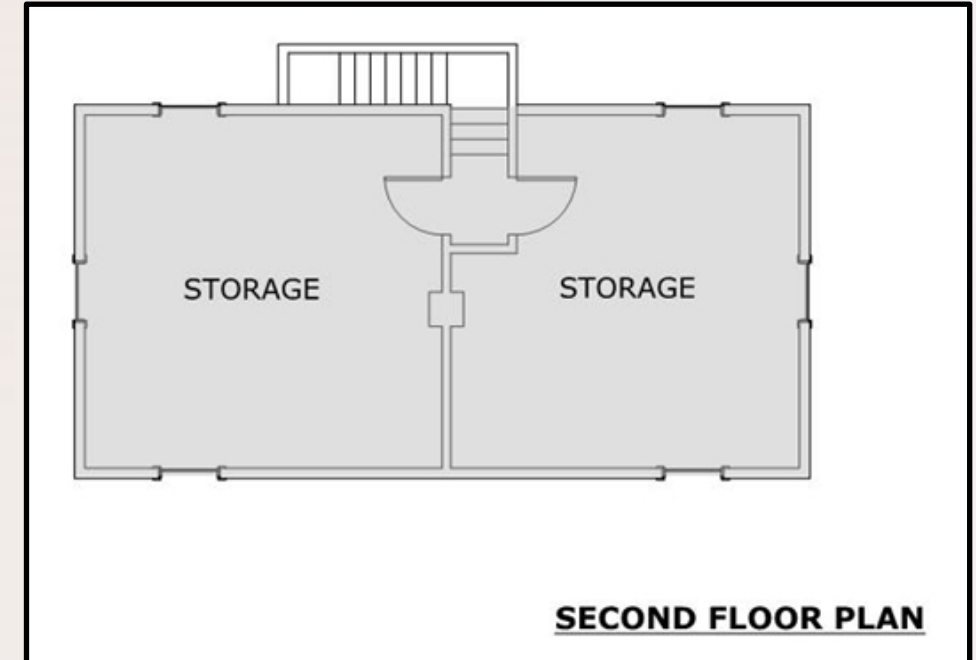


This report assumes the second floor will remain, but will not be used by the public.

Webb House: Repairs



Public Meeting Use Option



This report assumes the second floor will remain, but will not be used by the public.



Webb House: Cost Estimates

SITE COST

Demo existing detached restroom	\$12,600
New ADA ramp	18,000
New concrete sidewalk (structure to path)	2,400
<u>Landscaping</u>	<u>By Owner</u>
Sub total	\$33,000

STRUCTURE COST (TRAIL RESTROOM OPTION)

New ADA unisex restroom (2)	\$42,000
New roof	26,226
Interior room reconfiguration	11,200
Exterior siding, trim, column repair	12,400
New HVAC system	16,000
Revised electrical (power & lighting)	4,800
Lead Paint Encapsulation & limited abatement	36,000
<u>Interior and exterior painting</u>	<u>3,800</u>
Sub total	\$152,426

<u>Engineering Fees</u>	<u>\$20,000</u>
<u>TOTAL PROJECT COST</u>	\$205,426

SITE COST

Demo existing detached restroom	\$12,600
New ADA ramp	18,000
New concrete sidewalk (structure to path)	2,400
<u>Landscaping</u>	<u>By Owner</u>
Sub total	\$33,000

STRUCTURE COST (PUBLIC MEETING ROOM OPT)

New ADA unisex restroom (1)	\$21,000
New roof	26,226
Interior room reconfiguration	6,200
Exterior siding, trim, column repair	12,400
Revised HVAC system	2,400
Revised electrical (power & lighting)	2,400
Lead Paint Encapsulation & limited abatement	36,000
<u>Interior and exterior painting</u>	<u>3,800</u>
Sub total	\$110,426

<u>Engineering Fees</u>	<u>\$15,600</u>
<u>TOTAL PROJECT COST</u>	\$159,026

Questions and Discussion

ASSESSMENT OVERVIEW

INTRODUCTION

Hidell and Associates Architects, Inc. was retained in August 2017 to perform a thorough investigation of two existing city properties to assess the modifications required to update the structures for public use. The assessment includes recommendations regarding repairs and requirements to meet current code and accessibility standards. The two properties are the Bidault House and Webb House. Both properties are existing residential structures.

This report includes an assessment of the properties current conditions, evaluating the structural integrity, building systems, finishes, and layout. The recommendations include repairs and associates cost to enable the existing structures to be used for public purposes.

The Bidault House is a two-story residential property, originally constructed in 1911 and was given a Texas Historical Commission designation in 1980. The property has not been reviewed for a specific use, however, the report includes recommendations to improve the overall flexibility of the interior layout.

The Webb House is a two-story residential property that was modified in 2002, updating the interior layout and providing site improvements. The site is in good repair, providing accessible off-street parking and connection to the cotton belt trail, via a paved path. This report includes recommendations to modify the existing site and structure to accommodate restrooms for users of the Cotton Belt Trail. The report also includes general repairs and interior modifications for general use.

THE BIDAULT HOUSE

Built in 1911 the Bidault house has been recognized by the Texas Historical Commission and is registered as a historical landmark.



Front Façade of Bidault House



Texas Historical Commission Designation

GENERAL INFORMATION

- The property is located at the northeast corner of Bluebonnet Dr and West Glade Rd (1416 Glade Rd., Colleyville, TX)

SITE

- The site is approx. 0.846 acres with a residential structure and a single story detached garage structure. The site does not include paving for vehicular access or parking. The site vegetation includes mature trees, native grass, and limited shrub landscaping at the perimeter of the structures. The site is generally flat in elevation with a gentle slope from west to east.

RESIDENTIAL STRUCTURE

- The two-story residential structure is 2,160 s.f. The following is an assessment of the current conditions:
 - o The home's exterior has recently been painted and is generally in good condition.
 - o The first floor includes 1,211 s.f. of original structure built from 1905 to 1911. A 318 s.f. addition was added to the north of the existing structure (date of completion unknown).
 - o The first-floor interior layout appears to have received minor modifications over the years, but remains generally residential in layout with eight rooms of varying size.

COLLEYVILLE PROPERTY ASSESSEMENT

- o The second floor is 631 s.f. The layout appears to be original with two bedrooms, one restroom, and access to a mechanical attic area.
- o The roof is asphalt shingle and is in generally in good condition. The date of the roof is unknown.
- o The windows are original and generally in good condition. Due to the age of the windows, their operation was not tested during inspection. It is assumed that any public use of the facility will not require the windows to be operable.
- o The HVAC is a split system with a gas furnace in the 2nd floor attic area and a condensing unit at grade on the east side of the house. The furnace appears to be in good working order, less than 15 years old. The fan was engaged during the review process. The condensing unit was operational during the review, but given the age (over 15 years old) and visual inspection of the coils, pump and motor, it is recommended to be replaced.
- o The home includes water and sewer service. The plumbing layout will need to be revised to meet accessibility standards and improve the flexibility of the overall layout.
- o The electrical service has a modern circuit panel with copper wiring distribution to outlets and light fixtures.



Existing living room configuration



Existing dining room configuration

COLLEYVILLE PROPERTY ASSESSEMNT

OUTBUIDLING

- The outbuilding is a single story (357 s.f.) detached garage.
 - o The outbuilding is generally in good shape.
 - o The exterior appears to be recently painted and new doors have been fabricated and installed. No modifications or repair are need for this structure, assuming it will remain as a storage facility.
 - o The site includes an existing well with pumphouse. The age of the well and pumphouse are unknown. The well is in the southwest quadrant of the property adjacent to the Bluebonnet Drive.



Existing well and pump house

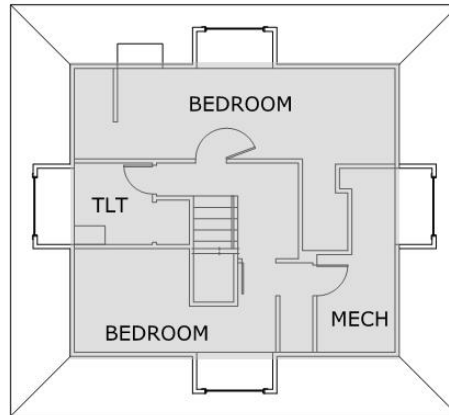


Existing outbuilding (Garage)

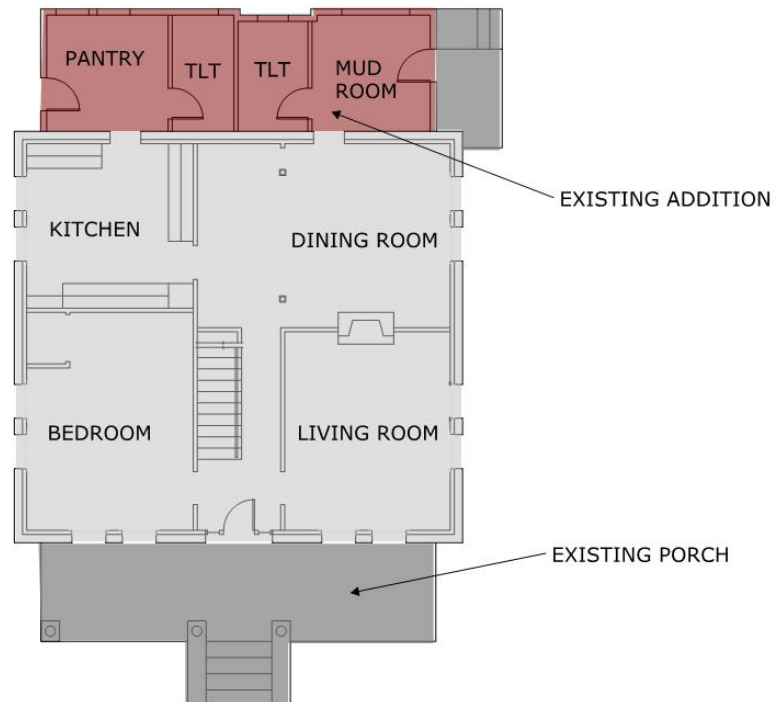
EXISTING SITE CONFIGURATION



EXISTING STRUCTURE CONFIGURATION



SECOND FLOOR PLAN



FIRST FLOOR PLAN

COLLEYVILLE PROPERTY ASSESSEMNT

REQUIREMENTS

The property requirements are based on use of the facility (site and structure) for public occupancy. The following area list of requirements to meet code and accessibility standards. These requirements are mandatory for use of the facility for public functions.

ZONING REQUIREMENTS

- The property is currently zoned R40? (Single Family Residential District) Using the property for commercial or governmental purposes will require an SUP.

BUFFER REQUIREMENTS

- 25'-0" set back on east and north property lines
- 20'-0" greenbelt of "live" planting
- 6'-0" height fence at property line

LANDSCAPE REQUIREMENTS

- Twenty percent (20% of the total land area in any proposed, development shall be, landscaped. At least fifty percent (50%) of the total landscaped area shall be in the street yard. This report assumes all landscaping requirements will be performed by City of Colleyville crews.

PARKING REQUIREMENTS

- Classified as a Museum, office or government building will require one space for every 300 sf (7 spaces)
- One handicap space per Texas Accessibility Standards



Existing living room configuration



Existing dining room configuration

ADA REQUIREMENTS

- Accessible route from handicap parking to facility. This will require a new ramp system. Based on the adjacent grades, the homes finish floor is approximately 28" above the proposed parking grade.
- The entry door shall be a minimum of 32" wide with a threshold less than ¼"
- If the second floor is used for public purposes it shall be accessible per ADA standards, which would require an elevator. This report assumes the second floor will not be used.
- The interior configuration shall include a minimum of (1) ADA accessible restroom.
- If the facility is used for assembly purposes with an interior space with over 49 occupants a second exit will be required to be ADA accessible.

PLUMBING FIXTURE REQUIREMENTS

- The ultimate use of the facility will dictate the allowable occupancy and restroom fixtures required. For the purposes of this property review, the most stringent occupancy has been used (A-3) assembly. Due to the size of the first floor (1211 s.f.) it is reasonable to assume with storage and restrooms; the occupancy load would range between 38-48.

HISTORICAL DESIGNATION REQUIREMENTS

- The Bidault House is Registered with the Texas Historical Commission, receiving a Historic Designation in 1980. This designation relates to the exterior architectural character of the structure, specifically the pressed concrete block exterior. The addition can be removed pending approval by the Texas Historical Commission. The ramp providing an accessible route from handicap parking to facility could be added in its place. This will require a new ramp system based on the finish floor of the house at 3'-0" above parking grade.

- The RTHL designation of Bidault House does legislatively require 60 days prior-notice of any work on the exterior of the building to allow time for the Texas Historical Commission Division of Architecture to review and consult on the preservation best-practices as guided by the Secretary of Interior's Standards. After the consultation process is complete the owner may choose to do what they desire work wise, but the law ensures the owners has been educated on what is most acceptable for their historic property in terms of preservation.
- **How to Submit an RTHL Review**
 - Submit a cover letter fully describing the project scope along with supporting documentation (i.e. photographs, and if available any drawings, site plans, specifications, etc.) for the exterior of each building to the mailing below. Faxes and email are not accepted.



The existing first floor is raised above the existing grade



The existing structure includes a single-story addition on the north. The addition is not constructed of the cast concrete block.

REPAIRS

The repairs are based on visual inspection of the facility in September 2017. No plans or property maintenance were reported at the time of the inspection. The following repairs are based on achieving a code and accessible site and structure.

SITE

- A concrete parking lot shall be constructed with access from Bluebonnet Drive. The parking lot shall include 7 regular spaces (9'-0" wide x 18'-0" deep) and 1 handicap accessible space.
- Concrete sidewalks shall be installed that provide an accessible route from Bluebonnet Drive and the new parking area to the existing structure. This will include a concrete ramp system approx. 30'-0" in total length.
- The current landscape is minimal. It is recommended to remove the existing shrubs and plant appropriate vegetation at the perimeter of the existing structure. This would include a new irrigation system.
- New vegetation and irrigation is recommended at the perimeter of the existing outbuilding.

STRUCTURE

- The existing house's exterior is in good shape and has been recently painted. The exterior shall be power washed with any peeling paint removed and those areas repainted.
- The existing house includes an addition of unknown age. The addition has foundation issues and the north side of the addition is sinking. If the addition remains, the foundation will need to be repaired with concrete piers.
- The addition can be removed pending approval by the Texas Historic Commission. The Texas Historic Commission was contacted regarding this option and was generally favorable of returning the home to its original configuration (circa 1911). Should the City choose to remove the addition, repair will be required to the existing north façade to restore it back to its original condition. This will include masonry repair and installation of period appropriate windows and doors.

INTERIOR LAYOUT

- The existing house's interior layout is generally original with the first floor divided into smaller rooms typical of a residential structure. It is recommended several of the interior walls be removed to provide a larger more flexible space.
- Elimination of existing walls will require new beam installation to support the second-floor area.

- The structural integrity of the home is dependent upon the second-floor framing. This report assumes the second floor will remain, but will not be used by the public.
- The second-floor layout shall be simplified, eliminating non-structural walls.
- A new unisex toilet is code required and the interior layout should accommodate accessible access.
- It is recommended the new interior layout include a small storage room adjacent to the unisex toilet to accommodate a variety of functions that might need various types of furniture or equipment.
- All existing walls shall be repaired and repainted.
- The existing flooring surfaces (wood, carpet and vinyl) shall be removed complete. Depending upon use of the facility a new floor finish (hardwood) is recommended based on the character and age of the home.

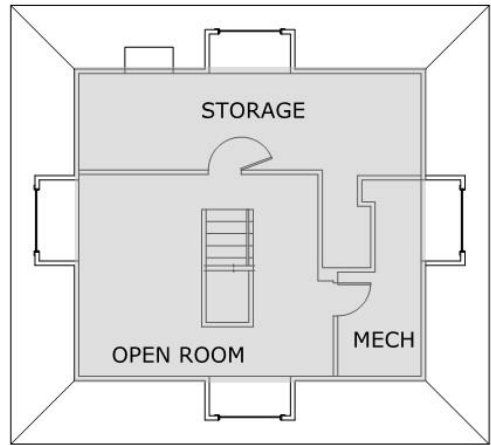
SYSTEMS (Mechanical, Electrical and Plumbing)

- The existing condensing unit shall be replaced complete. The existing air handling unit in the second-floor attic shall be serviced.
- A new interior layout and ADA accessible restroom will require the new plumbing routed to the existing service locations. A new water meter will be required.
- It is recommended the existing electrical system be upgraded. The system is original and in working order, however it does not meet all new code requirements. The new electrical system shall include a new main panel and distribution wiring to revised outlet and light fixture locations.
- The exterior lighting on site shall be re-used. New lighting will be required at the accessible exit.
- New site lighting will be required for the parking lot and accessible route.

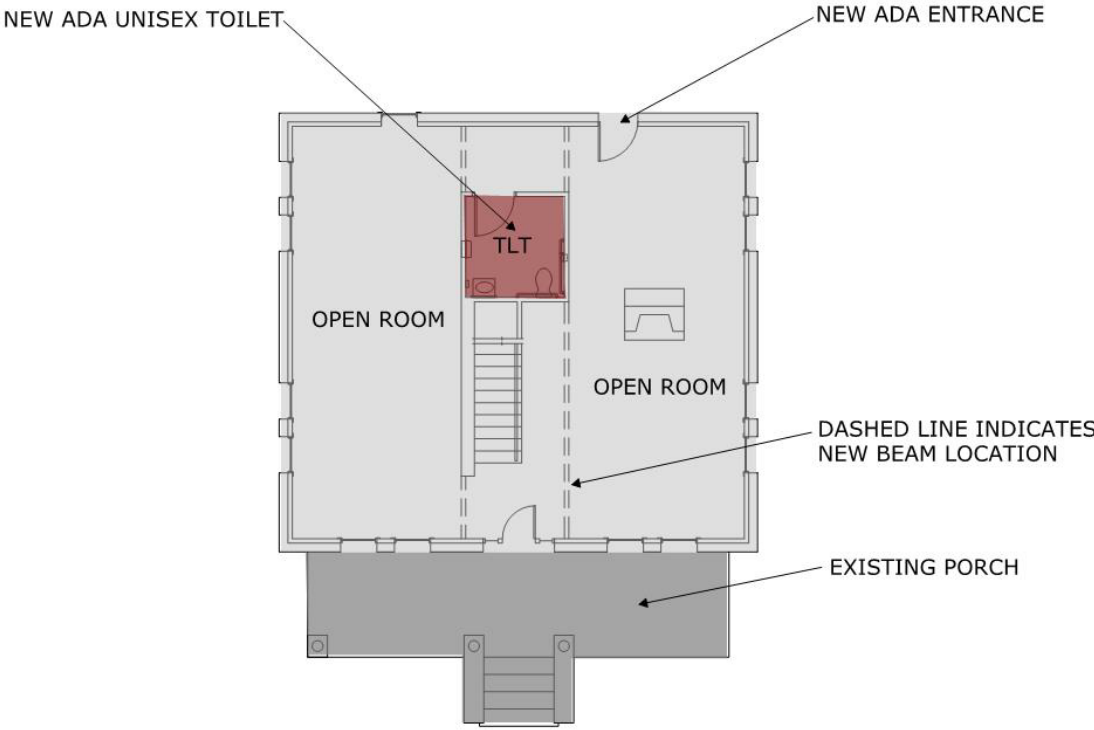
REQUIREMENTS AND REPAIR DIAGRAM (SITE)



REQUIREMENTS AND REPAIR DIAGRAM (STRUCTURE)



SECOND FLOOR PLAN



FIRST FLOOR PLAN

ESTIMATE OF CONSTRUCTION COST

SITE COST

New parking lot and street access	\$64,000
New sidewalk from structure to public way	\$4,750
New ada accessible ramp	\$15,000
New privacy fence	\$6,200
New parking lot lighting	\$9,000
Landscaping	By Owner
Sub total	\$98,950

STRUCTURE COST

Demo existing addition	\$15,900
Restore existing north wall	\$25,920
Interior wall configuration	\$9,200
New ADA restroom	\$21,000
New HVAC system	\$16,000
New electrical service, distribution and lighting (200 amp)	\$19,240
New flooring (hardwood)	\$10,800
Interior painting	\$3,600
Sub total	\$121,660

TOTAL COST

Subtotal Site Cost	\$98,950
Subtotal Structure Cost	\$121,660
Engineering Fees	\$20,000
Total Project Cost	\$240,610

Pricing Notes:

- All cost include contractor overhead and profit
- Engineering fees are estimate of drawings and testing required

THE WEBB HOUSE

Located adjacent to the Cotton Belt Trail, the site and structures have been improved over the years



Webb House interior



Webb House exterior entry

GENERAL INFORMATION

- The property is located at the northwest corner of Bransford Rd. and Shelton Dr. (400 Shelton Drive, Colleyville, TX)

SITE

- The site is approx. 3.03 acres with a residential structure and a single story detached restroom structure. The site has been improved over the years and includes 12 off-street parking spaces, including one ADA accessible space. A concrete path connects the property and structures to the Cotton Belt Trail. The site includes a picket fence at the perimeter of the Webb House structure. The existing vegetation includes mature trees, native grass and limited shrub landscaping. The site is generally flat with minimal slope.
- Due to the condition and amenities of the site, the report assumes minimal changes will be necessary for public use of the Webb House structure.

RESIDENTIAL STRUCTURE

- The two-story residential structure is 1,828 s.f. The following is an assessment of the current conditions:
 - o The structure was renovated in 2002 with updates to the interior layout, an exterior ramp, and a detached restroom.

- o The exterior consists of wood siding and a wood shingle roof. Both the siding and roof are showing signs of weathering and will require repair/replacement.



Existing kitchen configuration



Existing ramp and restroom

- o The interior finishes are in good shape.
- o The 2002 renovation included a new electrical service (200 amp), and a new HVAC system.
- o The existing HVAC system is close to its lifespan and in need of service if the existing interior configuration remains.
- o The electrical system is working and has ample capacity.
- o The structure was inspected in 2015 for the existence of Lead Based paint. The results indicate positive tests for paint found on the exterior and interior of the structure. Any repairs or renovations which disturb the existing Lead Based Paint are subject to best standard practices for removal and remediation. The City has two options concerning the paint, removal (abatement) or encapsulation. Encapsulation will require the existing surfaces with paint to be coated or new walls installed over them.
- o The first-floor includes 914 s.f. of original structure (originally construction date unknown). The structure was renovated in 2002.
- o The first-floor interior layout was modified in 2002, opening up rooms and eliminating the existing restrooms.
- o The second floor is 513 s.f. The layout appears to be original with two bedrooms.
- o The roof is wood shingle and needs replacement.
- o The windows are original and generally in good condition. Due to the age of the windows, their operation was not tested during inspection. It is assumed that any public use of the facility will not require the windows to be operable.

- o The HVAC is a modified roof top unit, located at grade adjacent to the north façade of the home. The system is nearing its lifespan. Modification to the interior of the structure will necessitate replacement. Should this unit remain, having is services and screening it is recommended, as it is visible from the Cotton Belt Trail access path.
- o The home includes water and sewer service. The plumbing layout will need to be revised to meet accessibility standards and improve the flexibility of the overall layout.
- o The electrical service was modified in 2002 with a 200-amp panel and copper wiring distribution to all outlets and light fixtures. The existing light fixtures are period appropriate, however, are not efficient. The original light switches (push button) have been utilized. Should the type of occupancy change, new light fixtures and switching will be required.

OUTBUIDLING

- The outbuilding is a single story (120 s.f.) detached restroom.
 - o The outbuilding is generally in good shape.
 - o The restroom is located at grade, which is below the finish floor of the existing home structure. To access the restroom the public is required to exist the structure and navigate on the site uncovered. For many public occupancies uses, this path of travel to a restroom would violate code requirements.



South façade and Handicap parking

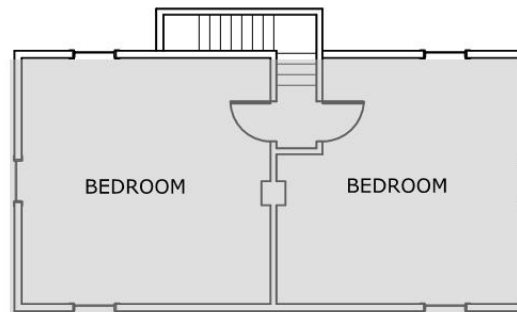


North and west facades

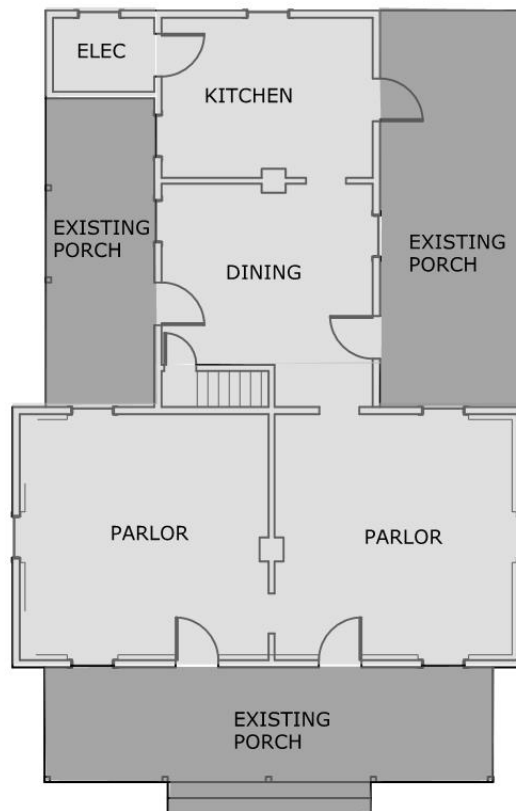
EXISTING SITE CONFIGURATION



EXISTING STRUCTURE CONFIGURATION



SECOND FLOOR PLAN



FIRST FLOOR PLAN

REQUIREMENTS

The property requirements are based on use of the facility (site and structure) for public occupancy. Due to recent improvement of the site the parking, zoning, and landscaping all meet current code standards. The following are a list of requirements to meet code and accessibility standards. These requirements are mandatory for use of the facility for public functions.

ADA REQUIREMENTS

- o Accessible route from handicap parking to facility. This will require a new ramp system. The existing ramp does not meet ADA standards for slope, landings, and railings. Based on the adjacent grades, the homes finish floor is approximately 18" above the proposed parking grade.
- o The entry door shall be a minimum of 32" wide with a threshold less than ¼"
- o If the second floor is used for public purposes it shall be accessible per ADA standards, which would require an elevator. This report assumes the second floor will not be used for public access.
- o The structure shall include a minimum of (1) ADA accessible restroom. The existing restroom structure on site meets current building code accessibility standards.
- o If the facility is used for assembly purposes with an interior space with over 49 occupants a second exit will be required to be ADA accessible.
- o If restrooms are located inside the existing structure, they will be required to be ADA compliant.

PLUMBING FIXTURE REQUIREMENTS

- o The ultimate use of the facility will dictate the allowable occupancy and restroom fixtures required. For the purposes of this property review, the most stringent occupancy has been used (A-3) assembly. Due to the size of the first floor (914 s.f.) it is reasonable to assume with storage and restrooms; the occupancy load would range between 30-40.

LEAD BASED PAINT HANDLING

- o The Webb House Structure is reported to be a historical home and not designed for continuous residency and does not meet the definition of target housing regarding HUD, Texas, or the RRP regulations, however, if these coatings are disturbed during renovations the workers are subject to the requirements in OSHA Construction Standard for Lead (CFR 1926.62). The OSHA Lead Regulations include provisions for training; written compliance programs; exposure

- assessments; notifications; engineering controls; and specified work practices depending on the work activity selected by the contractor.
- o In addition to OSHA worker protection requirements any waste generated by the operations that would disturb these materials should be considered potentially hazardous and waste characterization (including TCLP testing) should be performed prior to offsite waste shipment, to determine the proper disposal requirements.
 - o The report includes cost for two options: Total removal of all Lead Based Paint and encapsulation of the Lead Based Paint. It should be noted that all renovations should be done by an EPA Lead-Safe Certified Renovator who will know how to safely work around lead paint and keep it from spreading during renovations. It is assumed encapsulation is the preferred method.



Existing porch and steps (repair required)



Existing siding and trim (repair required)



Existing ramp (violates current ADA standards for slope, railing, and landing size)



Existing HVAC unit adjacent to north façade.

REPAIRS

The repairs are based on visual inspection of the facility in September 2017, and review of plans from the 2002 renovations and the Lead Based Paint inspection report dated 2015. The following repairs are based on achieving a code and accessible site and structure. A second option has been explored to create ADA accessible restrooms for use by Cotton Belt Trail users inside a portion of the existing structure.

SITE

- A concrete ADA accessible ramp shall be constructed. The ramp shall include new railing and landing areas which meet accessibility standards.
- The existing mature trees adjacent to the two-story structure shall be trimmed/eliminated. The existing vegetation impedes the visibility of the structure from the street, parking and adjacent trail.
- The existing mechanical unit, adjacent to the north façade is visible from the trail and should be screened with vegetation.
- New vegetation and irrigation is recommended at the perimeter of the existing building.
- Should the existing structure be modified for use as restrooms for Cotton Belt Trail users, the existing unisex toilet (detached) should be removed complete.

STRUCTURE

- The exterior of the two-story structure needs repair. The existing wood columns along the porch are showing signs of rot and should be replaced. The existing wood siding has paint peeling, exposing the raw wood to excessive weathering. All rotted wood siding and trim shall be replaced and painted.
- The existing porch flooring and steps are buckling and should be replaced.
- Additional site lighting should be installed. The configuration will be dependent upon the use of the building, however, for this report it is assumed a variety of light fixtures, ground mounted and pole lighting will be added to illuminate the path of travel and existing structure at night.
- The existing roof shall be replaced. The existing roof consists of architectural wood shingles, which are not required for replacement. The house is not subject to historic review; therefore, any complimentary roof system will be acceptable.

- The existing structure has five exterior doors. This is not required and a reconfiguration of the interior spaces will necessitate elimination of some of these doors.

INTERIOR LAYOUT

- The existing house's interior layout was modified in 2002. The interior condition is good, therefore repair modifications will be based on creating restrooms for Cotton Belt Trail users or enlarging rooms to provide additional flexibility in use.
 - o New ADA compliant restrooms (unisex) shall be located as to not disturb the existing wall surfaces, minimizing the Lead Based Paint abatement process. This report assumes two unisex restrooms located inside the existing structure with access from the west porch area.
 - o The interior layout flexibility can be improved by removing interior walls to create a large room on the first floor. This change will require a new beam and selective abatement of the Lead Based Paint.

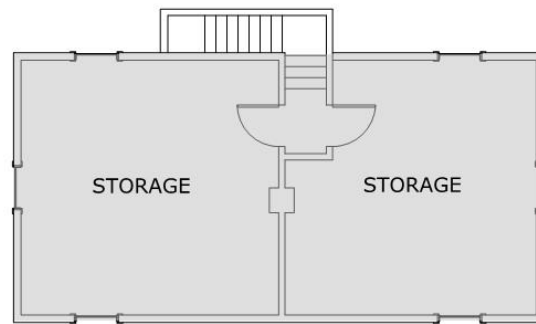
SYSTEMS (Mechanical, Electrical and Plumbing)

- Should the interior layout of the existing structure be modified the existing HVAC system will need to be modified to accommodate the revised layout and functions.
- Should the interior layout of the existing structure remain, the existing HVAC system should be serviced to ensure proper function.
- The electrical system is in good condition. Based on the preferred interior layout, the existing distribution (outlets and lighting) will need to be modified accordingly.
- The existing plumbing will need to be modified based on the preferred interior layout.

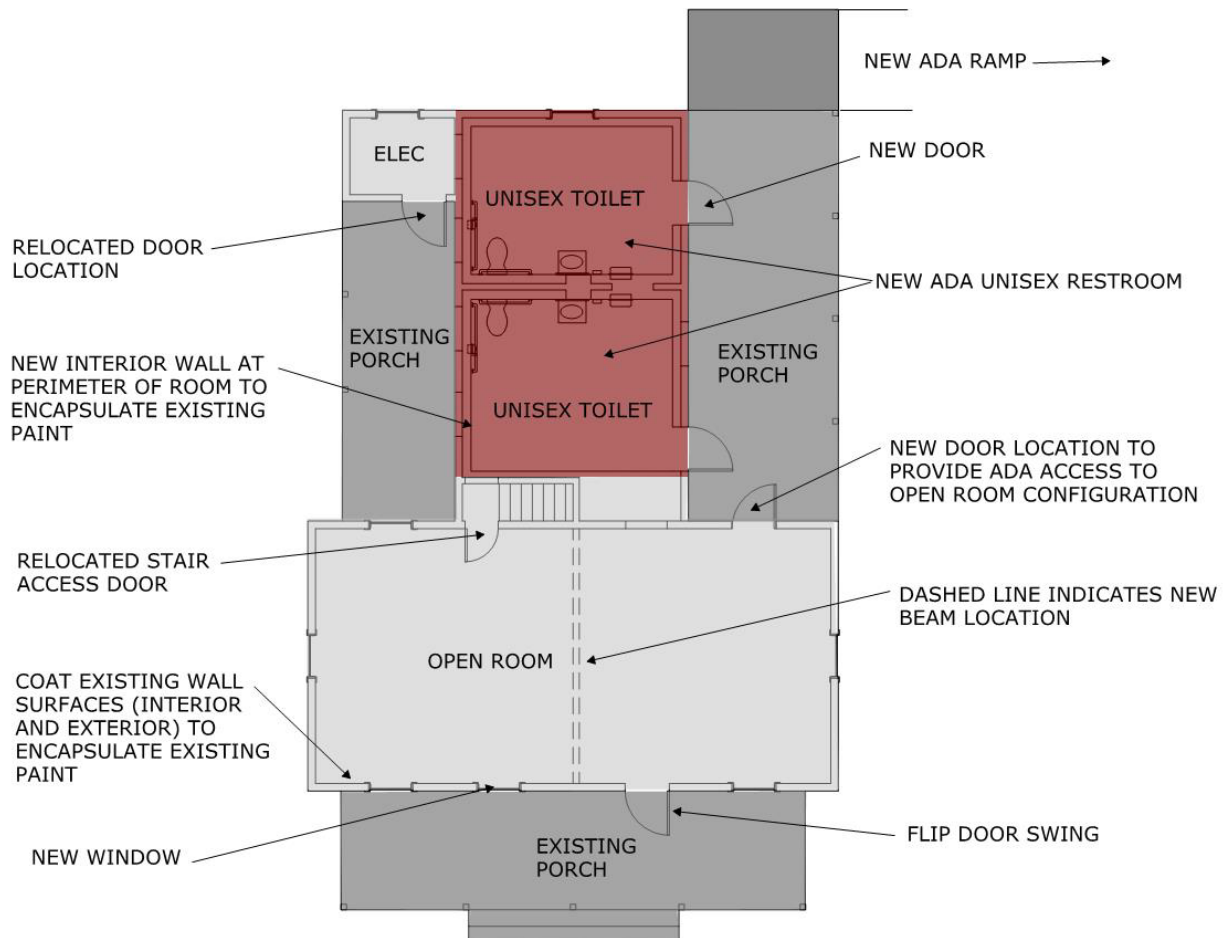
REQUIREMENTS AND REPAIR DIAGRAM (SITE)



REQUIREMENTS AND REPAIR DIAGRAM (TRAIL RESTROOM OPTION)

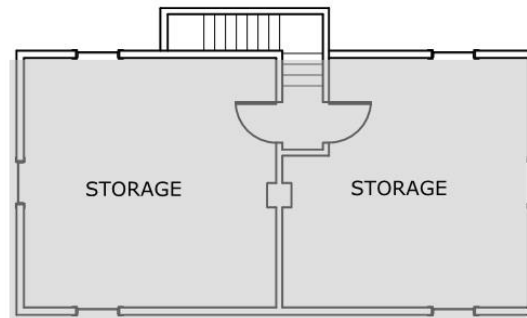


SECOND FLOOR PLAN

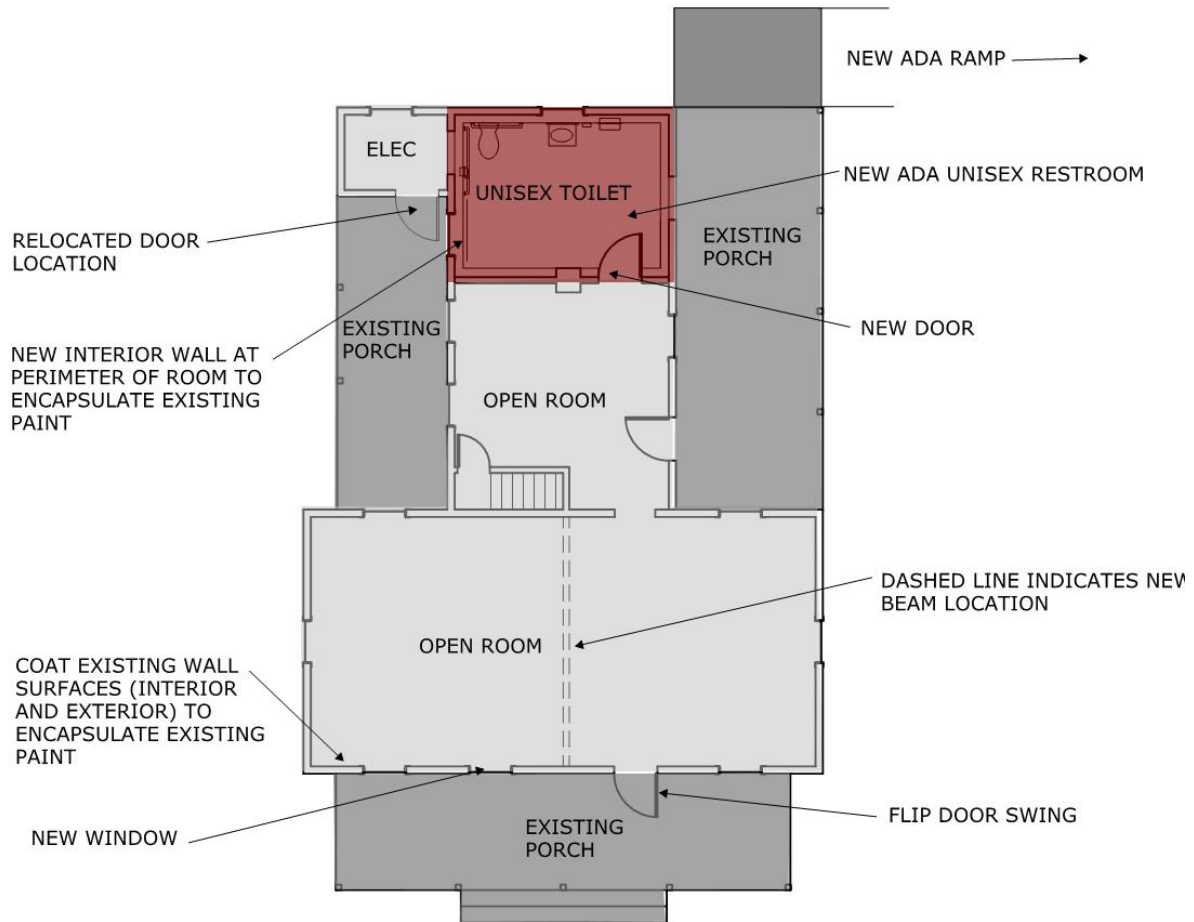


FIRST FLOOR PLAN

REQUIREMENTS AND REPAIR DIAGRAM (PUBLIC MEETING USE OPTION)



SECOND FLOOR PLAN



FIRST FLOOR PLAN

ESTIMATE OF CONSTRUCTION COST

SITE COST

Demo existing detached restroom	\$12,600
New ADA ramp	\$18,000
New concrete sidewalk from structure to existing path	\$2,400
Landscaping	By Owner
Sub total	\$33,000

STRUCTURE COST (TRAIL RESTROOM OPTION)

New ADA unisex restrooms (Quantity 2)	\$42,000
New roof	\$26,226
Interior room reconfiguration	\$11,200
Exterior siding, trim and column repair	\$12,400
New HVAC system	\$16,000
Revised electrical (power and lighting)	\$4,800
Lead Paint Encapsulation and limited abatement	\$36,000
Interior and exterior painting	\$3,800
Sub total	\$152,426
Engineering Fees	\$20,000
Subtotal of Site Cost	\$33,000
Total cost for trail restroom option	\$205,426

STRUCTURE COST (PUBLIC MEETING ROOM OPTION)

New ADA unisex restroom (Quantity 1)	\$21,000
New roof	\$26,226
Interior room reconfiguration	\$6,200
Exterior siding, trim and column repair	\$12,400
Revised HVAC system	\$2,400
Revised electrical (power and lighting)	\$2,400
Lead Paint Encapsulation and limited abatement	\$36,000
Interior and exterior painting	\$3,800
Sub total	\$110,426
Engineering Fees	\$15,600
Subtotal of Site Cost	\$33,000
Total cost for trail restroom option	\$159,026

STRUCTURE COST (EXISTING CONFIGURATION TO REMAIN)*Option assumes encapsulation of existing Lead Based Paint*

New roof	\$26,226
Exterior siding, trim and column repair and paint	\$12,400
HVAC system repair	\$2,400
Lead Paint Encapsulation and limited abatement	\$36,000
Interior and exterior painting	\$3,800
Sub total	\$80,826
Engineering Fees	\$12,000
Subtotal of Site Cost	\$33,000
Total cost for trail restroom option	\$125,826

STRUCTURE COST (EXISTING CONFIGURATION TO REMAIN)*Option assumes complete abatement of existing Lead Based Paint*

New roof	\$26,226
Exterior siding, trim and column repair and paint	\$12,400
HVAC system repair	\$2,400
Lead Paint abatement	\$118,000
Interior and exterior painting	\$3,800
Sub total	\$162,826
Engineering Fees	\$19,240
Subtotal of Site Cost	\$19,240
Total cost for trail restroom option	\$201,306

Pricing Notes:

- All cost include contractor overhead and profit
- Engineering fees are estimate of drawings and testing required