



City of Colleyville Sign Board of Appeals Agenda

City Hall
100 Main Street
Colleyville, Texas 76034
817. 503.1000
www.colleyville.com

Tuesday, April 11, 2017

City Council Chambers

**7:00 PM
CITY COUNCIL CHAMBERS
THIRD FLOOR
CALL TO ORDER
PLEDGE OF ALLEGIANCE**

1. APPROVAL OF MINUTES

March 14, 2017

2. PUBLIC HEARING AGENDA ITEMS

- 2a** Request for a variance to the provisions of Section 7-150, Permanent Freestanding Signs – Sign Classification and Regulations of the Land Development Code, specifically the construction design and maximum height, on Lot 1R and 2R, Block 1, of the C-D Subdivision, located at 6513 and 6515 Colleyville Boulevard, Case SC17-001

3. ADJOURNMENT

I hereby certify this agenda was posted on City Hall bulletin boards Friday, April 7, 2017 by 5:00 p.m.

Araceli Botello
Planning Technician

A quorum of the Colleyville City Council may be in attendance at this meeting.

Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the City Secretary at least 48 hours in advance at 817.503.1133, and reasonable accommodations will be made to assist you.



City of Colleyville Sign Board of Appeals Minutes

City Hall
100 Main Street
Colleyville, Texas 76034
817. 503.1000
www.colleyville.com

Tuesday, March 14, 2017

City Council Chambers

Call to Order

The Sign Board of Appeals meeting of the City of Colleyville was called to order by Board member McNosky on March 14, 2017 at 7:00 p.m.

Roll Call

Present: Board members Richard Vallario, Wayne Maynard, Dee McNosky, Raymond Allee, Kimberly Holt, Alternate 1, and Michael Deakin, Alternate 2

Absent: Dee Kamerman

Staff Present: Ben Bryner and Araceli Botello

1. APPROVAL OF MINUTES

Board member Maynard made a motion to approve the January 10, 2017 minutes. Board member Allee seconded.

The motion to approve the January 10, 2017 minutes carried by the following vote:

Aye: 5 – Vallario, Maynard, Allee, Holt, and McNosky

2. PUBLIC HEARING AGENDA ITEMS

2a Request for a variance to the provisions of Section 7.175.D, Permanent Attached Signs – Classification and Regulation of the Land Development Code, specifically the maximum area of signage, on Lot 16R2, Block 1, of the Colleyville Industrial Park Addition, located at 6407 Colleyville Boulevard, Case SC16-005

Ben Bryner presented the case and briefed the Board.

The public hearing was opened at 7:06 p.m.

The applicant, Geneva Switzer, 1223 Crestside Drive, Coppell, came forward and briefed the Board.

Board member Vallario questioned the applicant regarding a

monument sign on the property. Applicant confirmed there is a monument sign on the property.

Board member Maynard questioned applicant regarding the effect of the size of the sign on business. Applicant responded a larger sign will bring much more traffic with the construction of Colleyville Boulevard. Board Member Maynard questioned applicant if she was aware of any obstructions with the construction of the road. Applicant responded she is not aware of any obstruction, but would like a larger sign due to the expansion of the road.

Board member McNosky questioned applicant if the request for a variance for the proposed sign is to calculate the size of the sign based on the length of the building and not the patio overhang. Applicant confirmed and added that her interpretation was to use the 55 feet from the front of the building in contrast to the 21 feet.

Discussion continued regarding the size of the sign.

Board member Vallario questioned applicant if she would maintain the monument sign at the front of the building. Applicant responded yes.

Board member Allee questioned applicant regarding parking or the monument sign being impacted by the construction of the road. Applicant responded no, the easement space was only impacted and the monument sign would remain where it is located.

There being no one else wishing to speak, the public hearing was closed at 7:14 p.m.

Board member Allee made a motion to approve Case SC16-005. Board member McNosky seconded.

The motion to approve Case SC16-005 failed by the following vote:

Aye: 3 –Vallario, Allee, McNosky

Nay: 2 – Maynard, Holt

Board member Maynard made a motion to approve Case SC16-005 with the condition that the sign be 52 square feet. Board member Vallario seconded.

The motion to approve Case SC16-005 with the condition that the sign be 52 square feet carried by the following vote:

Aye: 5 – Vallario, Maynard, Allee, Holt, and McNosky

3. ADJOURNMENT

The meeting adjourned at 7:18 p.m.

The minutes were written and prepared by:

Araceli Botello
Planning Technician

The meeting minutes were approved on _____ by a vote of _____.



City of Colleyville Sign Board of Appeals Agenda Briefing

City Hall
100 Main Street
Colleyville, Texas 76034
www.colleyville.com

Agenda Number 2a	Agenda Date 04/11/2017	Number
Type Public Hearing Agenda Items		
Department Community Development		

Title

Request for a variance to the provisions of Section 7-150, Permanent Freestanding Signs – Sign Classification and Regulations of the Land Development Code, specifically the construction design and maximum height, on Lot 1R and 2R, Block 1, of the C-D Subdivision, located at 6513 and 6515 Colleyville Boulevard, Case SC17-001

Explanation

Ken Green, the applicant, is requesting a variance to the requirements of Section 7-150, Permanent Freestanding Signs – Sign Classification and Regulations of the Land Development Code. The applicant is requesting to construct a sign that does not comply with the construction design and maximum height requirements of the Land Development Code.

Existing Conditions/Background: The subject property is generally located on the southeast side of Colleyville Boulevard, north of Tarrant Lane. It is zoned CPO – Professional Office district and is currently platted.

Requested Variance: The applicant is requesting a variance to allow for the construction of a 10 foot tall pylon sign adjacent to Colleyville Boulevard located within a drainage easement. The variance request has two components: a variance to the construction design; and, a variance to the maximum height requirements.

Ordinance – Section 7.150, Permanent Freestanding Signs – Sign Classification and Regulations of the Land Development Code establishes regulations for general business signs or “monument signs”:

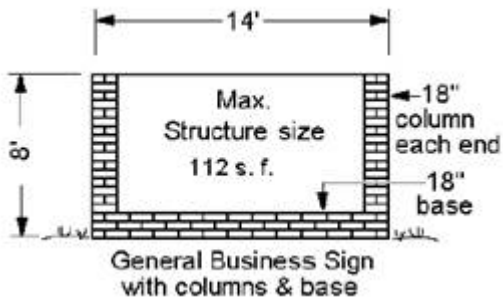
“A. General Business Signs –...All general business signs shall be subject to the following additional regulations:

1. Construction Design: All general business signs shall be designed and constructed as a monument sign as defined in this Land Development Code.

...

4. Specifications: The maximum area, height, spacing and setbacks of a general business sign shall conform to the specifications contained in Table 7-2, except where provided as follows:

...



b. Base and Column Requirements: At a minimum, a general business sign shall be constructed to include a base and columns as described below. Said base and columns shall be included in the calculation for determining the overall structure size for compliance with these regulations.

i. Base: A general business sign shall be constructed with a base that extends the entire length of the face of the sign structure. Said base shall be a minimum of eighteen inches (18") in height and shall be constructed of brick, stone, or of a material similar to that of the primary building on the lot.

ii. Columns: A general business sign shall be constructed with columns constructed on each end of the face of the sign structure. Said columns shall be a minimum of eighteen inches (18") in width as viewed from the front and side elevations and shall extend the entire height of the face of the sign structure. Said columns shall be constructed of brick, stone, or of a material similar to that of the primary building on the lot.

...

c. Maximum Height: Eight feet (8').

Chapter 2 – Definitions defines a Monument Sign as:

"Sign, Monument. A sign mounted on a solid base or pedestal with no visible space between the sign and the base or pedestal. The sign is not mounted on visible poles, struts, wires, or other visible structures. The sign base or pedestal may be constructed of any solid material. The sign shall be a minimum of 4-1/2 inches thick, and the base or pedestal shall be a minimum of 6 inches thick."

Chapter 1 (General Provisions) of the Land Development Code authorizes the Sign Board of Appeals to grant variances to the requirements of Chapter 7 – Signs given the following considerations:

"...In considering a request for a variance, the Sign Board of Appeals shall consider, among other things, the degree of variance, the reason for the variance requested, the location of the variance request, the duration of the requested

variance, the effect on public safety, the protection of neighborhood property, the degree of hardship or injustice involved, and the effects of the variance on the general plan of regulation of signs within the City."

Analysis – The proposed sign does not comply with the construction design requirements for a monument sign. The definition of a monument sign in Chapter 2 of the Land Development Code is explicit in regard to the design elements of a monument sign. The proposed sign will be elevated off of the ground on two pylons. While this design is necessary to facilitate drainage for the drainage easement in which the sign is proposed to be located, the definition for monument sign clearly states that a monument sign must be *"...mounted on a solid base or pedestal with no visible space between the sign and the base or pedestal. The sign is not mounted on visible poles, struts, wires, or other visible structures"*. Based on this definition the proposed sign does not comply with the regulations and staff does not have the authority approve the request.

The design proposed is more closely aligned with a pylon sign. Chapter 2 defines a pylon sign as:

"Sign, Pylon. A sign supported by two or more free-standing poles, and having no guys or braces." Per the Land Development Code, pylon signs are not permitted along Colleyville Boulevard.

In addition to the noncompliance with the construction design elements, the proposed sign exceeds the maximum height requirements for a general business sign. The proposed sign will be 10 feet tall, where the maximum height for a general business sign is eight feet. Therefore, the applicant is requesting approval of a second variance to exceed the permitted maximum height by two feet. Given the location of the proposed sign (within the drainage easement), the sign will be placed at a lower grade than the surrounding area. Although this request appears reasonable, this may set a precedent for future signs exceeding the allowable height.

Staff contends that there are alternative locations for the sign which do not require a variance. The applicant contends the proposed location provides the greatest visibility. This may be accurate but relocating the sign a few feet to the east on the edge of the parking lot or at the north end of the property adjacent to Colleyville Boulevard will provide adequate visibility and would not require a variance to two provisions of the Land Development Code.

Finally, the applicant has provided photos of existing signs within the City of Colleyville which do not meet the current requirements. The Land Development Code is clear when it states that the existence of other nonconforming structures does not constitute grounds for issuance of a variance. Although signs not meeting the current requirements exist along Colleyville Boulevard, the current regulations should be adhered to unless a true hardship is present.

Public Notification: Staff mailed notices to property owners within 200 feet of the subject property regarding this request. Grapevine-Colleyville ISD, where the subject property is located, was notified per State law. Notice was published in the *Fort Worth Star-Telegram* as required by State law and the Land Development Code. To date, staff has received no correspondence for the request.

Staff Recommendation: The applicant has not presented a hardship as defined by the Land Development Code. Additionally, the applicant is requesting variances to multiple requirements of the Land Development Code. Staff believes there are adequate alternative location for the sign which will meet the requirements of the Land Development Code. Due to the degree of variance and lack of hardship, staff recommends denial of the proposed variance.

Recommendation

Denial

Attachments

1. Aerial Map
2. Zoning Map
3. Statement of Planning Objectives
4. Photos Provided by Applicant - Proposed Sign
5. Approved Site Plan and Landscape Plan
6. Easement Encroachment Exhibit
7. Initial Staff Comments
8. Applicant's Response to Comments
9. Photos Provided by Applicant
10. Notification Map
11. Notification List

AERIAL MAP



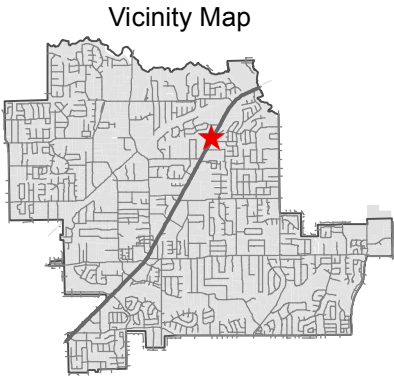
SC17-001

6513 AND 6515 COLLEYVILLE BOULEVARD

 Subject Property

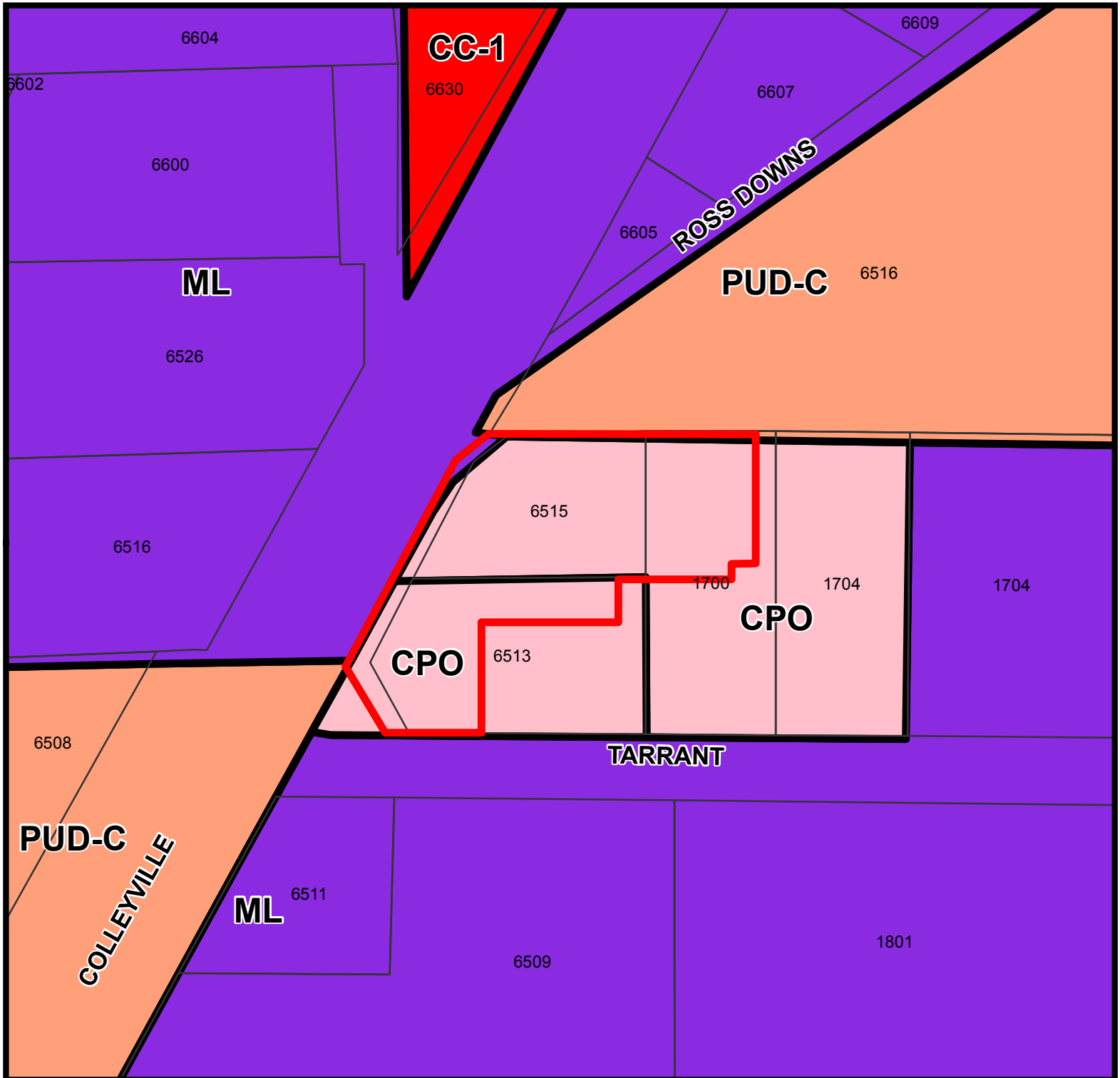


1 inch = 104 feet



DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of Colleyville. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of Colleyville, its officials or employees for any discrepancies, errors, or variances which may exist.

ZONING MAP



SC17-001

6513 AND 6515 COLLEYVILLE BOULEVARD

- Subject Property
- CC-1 Village Retail
- CP0 Professional Office
- ML Light Manufacturing
- PUD-C Planned Unit Development, Commercial



1 inch = 104 feet

Vicinity Map



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Statement of Planning Objectives

City of Colleyville
Sign Board of Appeals

Green Office Park
6513 & 6515 Colleyville Blvd.

STATEMENT OF PLANNING OBJECTIVES

The planning objective is to create and install a professional monument sign at the corner of Colleyville Blvd. and Tarrant Lane for the tenants of the two professional office buildings located there. The objective is also to have the sign look exactly like and be on the same grade level as the existing sign on Tarrant Lane.

I am requesting a two-feet (24 inch) height variance due to the fact the sign is being built in a 30-inch deep detention pond. The additional two feet will bring the bottom of the sign up to the grade level of the existing parking lot. The actual sign will be the same size as the existing Tarrant Lane sign but will sit on twin two-feet high rock pedestals.

No other similar conditions exist in the area. This was the first building built with the new detention pond rules in effect.

No actions on my part resulted in this situation. The site of the sign was approved by the city in the original site plan. The detention pond was added later.

The only way to construct the sign without this variance is to move it back into the parking lot. If we do put it in the parking lot it will actually be higher than the variance sign we are requesting. The aesthetics of the variance sign will fit much better into the existing building architecture.

Photos Provided by Applicant- Proposed Sign



Photos Provided by Applicant- Proposed Sign



Photos Provided by Applicant- Proposed Sign



1403

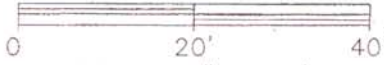
Easement Encroachment Agreement

EXHIBIT NO. 2

1/2" IRF w/CAP
"SPRY 5647" (C.M.)



Graphic Scale in Feet



SCALE: 1" = 20'

ABBREVIATIONS

P.R.T.C.T. PLAT RECORDS OF TARRANT COUNTY, TEXAS
DOC. NO. DOCUMENT NUMBER
IRF IRON ROD FOUND
P.O.C. POINT OF COMMENCING
P.O.B. POINT OF BEGINNING
C.M. CONTROLLING MONUMENT
U.E. UTILITY EASEMENT

LEGEND

- BOUNDARY CORNER
- EASEMENT CORNER

COLLEYVILLE BOULEVARD
(S.H. 26, R.O.W. VARIES)

N 28°17'27" E 162.63'
VARIABLE WIDTH
DRAINAGE EASEMENT
DOC. NO. D215163264
P.R.T.C.T.

200 SQ. FT.
ENCROACHMENT &
JOINT USE AREA

VARIABLE WIDTH
ACCESS EASEMENT
DOC. NO. D215163264
P.R.T.C.T.

P.O.B.

P.O.C.

1/2" IRF w/CAP
"SPRY 5647" (C.M.)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 28°17'19" E	5.75'
L2	N 28°17'19" E	10.00'
L3	S 61°42'41" E	20.00'
L4	S 28°17'19" W	10.00'
L5	N 61°42'41" W	20.00'

NOTES

- This Survey is issued without the benefit of a current title report and is subject to revision upon receipt thereof. Surveyor has done no additional research for possible easements, restrictions or covenants which may affect this property.
- All building lines, easements and bearings shown hereon are according to the Plat of C-D Subdivision recorded under Cabinet B, Slide 3012, in the Plat Records of Tarrant County, Texas, unless otherwise noted.
- The Surveyor has not physically located any underground utilities and/or improvements which may be located on, under or near the subject property.
- According to the Flood Insurance Rate Map No. 48439C0065 K, published by the Federal Emergency Management Agency, dated: September 25, 2009, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.

LOT 1R, BLOCK 1
C-D SUBDIVISION
DOC. NO. D215163264
P.R.T.C.T.

15'x15' U.E.
DOC. NO. D215163264
P.R.T.C.T.

7.5' U.E.
DOC. NO. D215163264
P.R.T.C.T.

PROPOSED 1.5'x14'
SIGN

TARRANT LANE
(50' R.O.W.)



July 20, 2015
CERTIFICATE DATE

I certify that this survey was made on the ground, that this plat correctly represents the facts found at the time of survey.

[Signature]
DAVID CARLTON LEWIS, R.P.L.S. NO. 5647

200 SQUARE FOOT
ENCROACHMENT AND JOINT USE AREA

OUT OF LOT 1R, BLOCK 1, C-D SUBDIVISION

IN THE ALSALOM J. LOTT, A-963
CITY OF COLLEYVILLE, TARRANT COUNTY, TEXAS

ISSUE DATE: 8/18/2016 SCALE: 1" = 20' PROJECT NO.: 034-137-52

SPRY SURVEYORS

8241 Mid-Cities Blvd., Suite 100 • North Richland Hills, TX 76182
PH: 817.776.4049 • sperry@sprysurveyors.com • www.sprysurveyors.com
Firm Reg. No. 10112000

Easement Encroachment Agreement

EXHIBIT NO. 1

**METES AND BOUNDS DESCRIPTION
200 SQUARE FOOT - ENCROACHMENT & JOINT USE AREA
OUT OF LOT 1R, BLOCK 1, C-D SUBDIVISION
IN THE ALSALOM J. LOTT SURVEY, A-963
CITY OF COLLEYVILLE, TARRANT COUNTY, TEXAS**

All that certain 200 square foot of land, out of Lot 1R, Block 1, C-D Subdivision recorded in Document Number D215163264, in the Public Records of Tarrant County, Texas (P.R.T.C.T.), in the Alsalom J. Lott Survey, A-963 in the City of Colleyville, Tarrant County, Texas and more particularly described by the metes and bounds as follows: (all bearings shown hereon are based on the west line of said C-D Subdivision.)

COMMENCING at a 1/2" iron rod with a cap stamped "SPRY 5647" found for the most westerly corner of said Lot 1R, Block 1, C-D Subdivision, in the east right-of-way Colleyville Boulevard (S.H. 26, Right-of-Way Varies), Then along the east right-of-way line of said Colleyville Boulevard North 28° 17' 19" East - 5.75' to the POINT OF BEGINNING and west corner of the herein described tract;

THENCE North 28° 17' 19" East - 10.00' continuing along the east right-of-way line of said Colleyville Boulevard, to the north corner of the herein described tract, from which a 1/2" iron rod with a cap stamped "SPRY 5647" found bears North 28° 17' 19" East - 162.63';

TEHNCE South 61° 42' 41" East - 20.00' to the east corner of the herein described tract;

THENCE South 28° 17' 19" West - 10.00' to the south corner of the herein described tract;

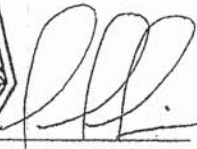
THENCE North 61° 42' 41" West - 20.00' to the POINT OF BEGINNING and containing 200 square foot of land.

**THIS METES AND BOUNDS DESCRIPTION IS ISSUED IN CONJUNCTION WITH
THE SURVEY PREPARED BY SPRY SURVEYORS, HEREBY REFERENCED AS
EXHIBIT B. THIS METES AND BOUNDS DESCRIPTION IS EXHIBIT A.**

SPRY SURVEYORS

Project Number: 034-137-52 • Issue Date: August 17, 2016
Certificate Date: July 20, 2015 • Firm Reg No. 10112000
8241 Mid-Cities Blvd., Suite 100 • North Richland Hills, TX 76182
Phone 817-776-4049 • email: spry@sprysurveyors.com



 8/17/16
David Lewis
R.P.L.S. NO. 5647

Staff Comments



CITY OF COLLEYVILLE COMMUNITY DEVELOPMENT DEPARTMENT

INITIAL STAFF COMMENTS

DATE February 7, 2017
TO KEN GREEN
EMAIL ken@kengreencpa.com
FROM Shane Pace, Principal Planner

SUBJECT SC17-001, Variance to Sign Type, Height Requirements – 6513-6515 Colleyville Blvd

The Colleyville Development Review Committee (DRC) has reviewed your variance request application submitted to this office. The following comments are to be addressed upon resubmittal:

For information regarding the following comments, please contact Shane Pace, Principal Planner (817-503-1056 / space@colleyville.com):

1. The proposed sign does not comply with the design requirements for a monument sign. Section 7-150 outlines the specifications for a general business sign (monument sign). As proposed, the sign is classified as a pylon sign. The variance request will need to be amended to request approval of a "pylon" sign. Pylon signs are not permitted along Colleyville Blvd.
2. The proposed sign exceeds the maximum height requirements for a general business sign by two feet. This request may set a precedent for future signs exceeding the allowable height.
3. Please provide a plan/rendering of the proposed sign which includes dimensions.
4. Staff encourages the applicant to explore additional options for the location, size, and design of the proposed sign to meet the requirements of the Land Development Code.

INFORMATIONAL COMMENTS:

1. The Development Review committee has determined that no hardship exists on the subject property as defined by Section 1.16.E.10 of the Land Development Code:

“where the literal enforcement of the provisions of this ordinance would result in an unnecessary hardship, and where such variance is necessary to permit a specific parcel of land which differs from other parcels of land in the same district by being of such restricted area, shape or slope that it cannot be developed in a manner commensurate with the development permitted upon other parcels of land in the same district. A modification of the standards established by this ordinance shall not be granted to relieve a self-created or personal hardship, nor for financial reason only, nor shall such modification be granted to permit any person a privilege in developing a parcel of land not permitted by this ordinance to other parcels of land in the district.”

Staff Comments

INITIAL STAFF COMMENTS 6513 COLLEYVILLE BLVD – SC17-001

2. The hardship presented on this property appears to be self-created. No unique or special conditions are present on the property preventing compliance with the ordinance regulations. Based on this determination, staff cannot recommend approval of the requested variance to the Sign Board of Appeals.

For information regarding the following comments, please contact Oscar Chavez, P.E., Development Engineer (817-503-1106 / ochavez@colleyville.com):

1. In reference to the variance case request, Engineering offers the following comments:
 - a. As for the proposed sign placement in the detention pond/drainage easement, the property owner has submitted an encroachment agreement with the required signatures from all utility providers listed on the agreement consenting to the encroachment of the sign in the described drainage easement. The encroachment agreement is pending approval contingent on the sign variance being approved.

For information regarding the following comments, please contact Robert McKeown, Fire Marshal (817-503-1411 / rmckeown@colleyville.com):

1. The fire department is opposed to electric signage in detention pond areas.

For information regarding the following comments, please contact Tanya Wilson, Plans Examiner (817-503-1032 / twilson@colleyville.com):

1. Staff believes there are adequate alternative locations for the proposed signage. Additionally, staff has concerns locating a sign within a drainage easement and detention pond.

TENTATIVE PUBLIC HEARING SCHEDULE

Sign Board of Appeals: The Sign Board of Appeals is the approval authority for variance requests related to commercial signage. Should you wish to proceed to public hearing, the tentative date will be **April 11, 2017.**

Please *sign the Record of Acknowledgement* provided below and submit it with the following to our office:

- A written letter stating that each comment has been addressed;
- Revised plans based on the above comments: four 24" x 36" copies (folded, no staples), five 11" x 17" copies, and a compact disk (CD) containing .pdf and .dwg files of all of the plans.

Staff Comments

INITIAL STAFF COMMENTS
6513 COLLEYVILLE BLVD – SC17-001

Record of Acknowledgement

I have read the Development Review Committee memo in its entirety and fully acknowledge all comments that have been presented herein. I also understand that if new information becomes available or the request is altered from what was originally submitted to the Community Development Department, the case may be subject to further review and additional requirements not included within this memo.

Printed Name

Signature

Date

Applicant's Reponse to Comments



Ken Green, CPA PLLC
Certified Public Accountant

6508 Colleyville Blvd., Suite 300
Colleyville, Texas 76034
Phone 817-251-6688
Fax 817-251-6699
kengreencpa.com

March 31, 2017

City of Colleyville Community Development Department

Comment 1. The exclusion of pylon signs was meant to prevent new unsightly signs put up on a pole. I have included several examples of what we are trying to prevent. The sign I am proposing while technically a pylon looks nothing like the signs the ordinance was written to exclude. I have included examples of several very nice looking signs which are technically pylon signs as described by the ordinance. They are much more presentable than some of the legal monument signs which I have also included examples of.

Comment 2. While the sign technically exceeds the maximum height, it would be approximately twelve inches lower than the sign which is allowed in the parking lot.

Comment 3. Rendering of the sign is attached.

Comment 4. If the sign is placed in the parking lot where it is allowed it will have no landscaping surrounding it and the existing trees and bushes will have to be constantly trimmed back to an undesirable level which would not be visually appealing.

Engineering comment. The engineering department has approved the proposed location. We have secured permission from all eight possible utility providers all of which have no utilities in the area of the sign.

Fire Marshall comment. The sign lighting will comply with National Electric Code (NEC) Section 680 which allows for electricity to be used in and near swimming pools for lighting. The lighting in the sign will be much safer than a swimming pool.



Photos Provided by Applicant

pylon sign ordinance meant to prevent



Photos Provided by Applicant

PYLON SIGN ORDINANCE MEANT TO ADDRESS (PREVENT)



Photos Provided by Applicant

PYLON SIGN ORDINANCE MEANT TO ADDRESS (PREVENT)



Photos Provided by Applicant

VERY NICE LOOKING PYLON SIGN



Photos Provided by Applicant

PYLON SIGN IN DETENTION POND



Photos Provided by Applicant

PYLON SIGN (WITHOUT LANDSCAPING)

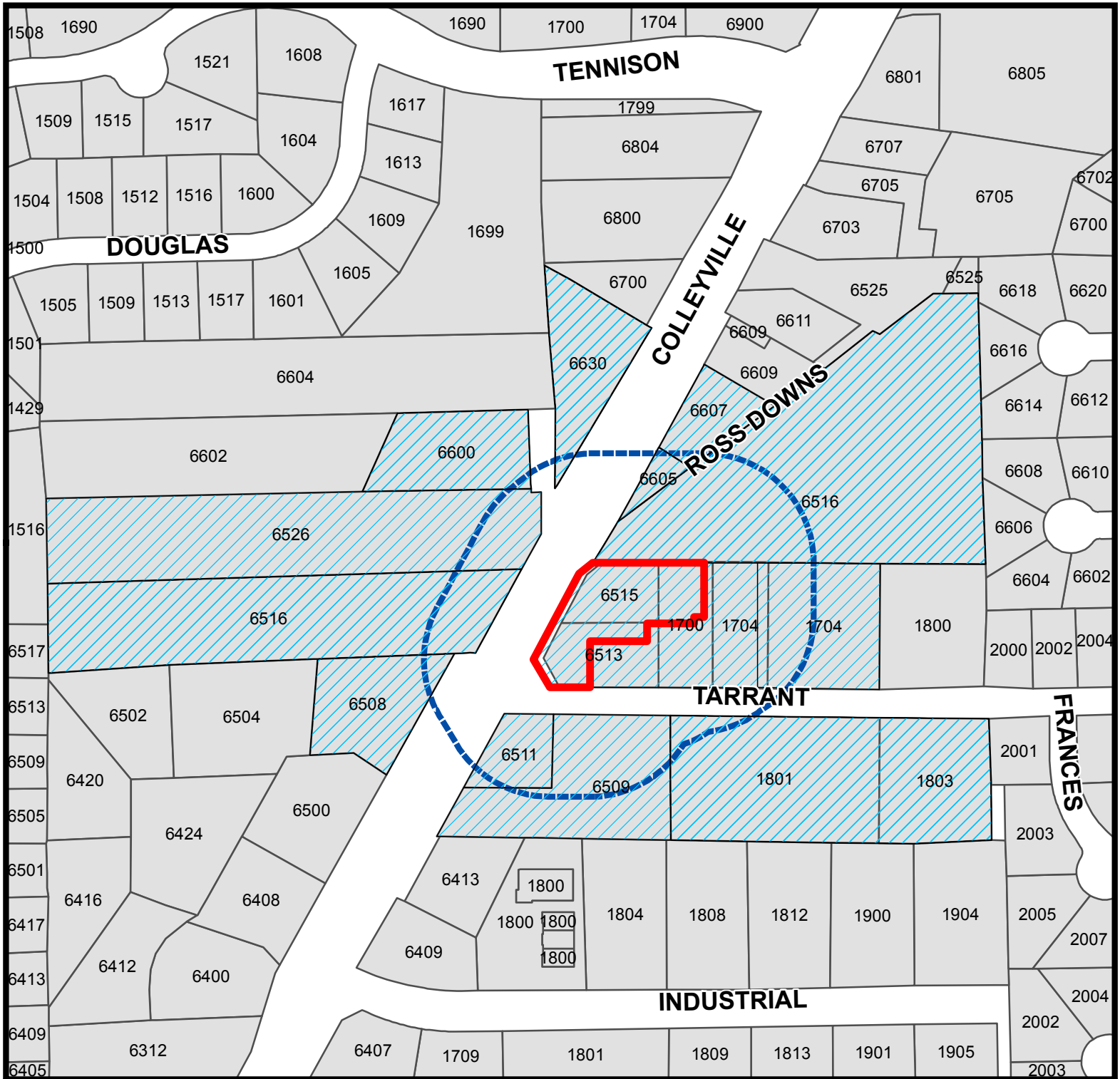


Photos Provided by Applicant

MONUMENT SIGN IN PARKING LOT



NOTIFICATION MAP



SC17-001

6513 AND 6515 COLLEYVILLE BOULEVARD



Subject Property



Properties within 200ft



200ft Buffer

externaldata.DBO.CD_DBO_Roads_911_2014



1 inch = 250 feet

Vicinity Map



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Notification List

Owner Name	Owner Address	Owner City	Owner Zip	Situs Address
AMERICA'S STORAGE	4311 OAK LAWN AVE STE 360	DALLAS, TX	75219	1704 TARRANT LN
6515 COLLEYVILLE LLC	6508 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6513 TARRANT LN
J&C SERVICE GROUP LLC	6521 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6521 COLLEYVILLE BLVD
HODGES, CRAIG	6521 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6521 COLLEYVILLE BLVD
GROWING GREEN LLC	1721 E SOUTHLAKE BLVD STE 200	SOUTHLAKE, TX	76092	6521 COLLEYVILLE BLVD
J&C SERVICE GROUP LLC	6521 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6521 COLLEYVILLE BLVD
HOVERSON PET SPA LLC	6607 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6607 COLLEYVILLE BLVD
COMBINED ENTERPRISES INC	6607 COLLYVILLE BLVD	COLLEYVILLE, TX	76034	6607 COLLEYVILLE BLVD
EAGLE PUTT INC	6516 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6516 COLLEYVILLE BLVD
DOOR WORKS OVERHEAD DOOR INC	1803 TARRANT LN STE 200	COLLEYVILLE, TX	76034	1803 TARRANT LN # 200
6515 COLLEYVILLE LLC	6508 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6515 TARRANT LN
ELECTRICAL CONCEPTS INC	PO BOX 1523	COLLEYVILLE, TX	76034	1803 TARRANT LN # 220
AMERICA'S STORAGE	4311 OAK LAWN AVE STE 360	DALLAS, TX	75219	1801 TARRANT LN
BOWDENS GUARANTEED HYDROMULCH	6516 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6516 COLLEYVILLE BLVD
AMERICA'S STORAGE	4311 OAK LAWN AVE STE 360	DALLAS, TX	75219	6511 COLLEYVILLE BLVD
MORGAN, MICHAEL L	6508 COLLEYVILLE BLVD STE 200	COLLEYVILLE, TX	76034	6508 COLLEYVILLE BLVD #
3 J GREEN LIMITED PARTNERSHIP	6620 COLLYVILLE BLVD STE 100	COLLEYVILLE, TX	76034	6508 COLLEYVILLE BLVD
BOWDEN, GERALD W	850 AVENIDA SERENA	MARBLE FALLS, TX	78654	6516 COLLEYVILLE BLVD
SELECT ROOFING LLC	6605 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6605 COLLEYVILLE BLVD
AMERICA'S STORAGE	4311 OAK LAWN AVE STE 360	DALLAS, TX	75219	6509 COLLEYVILLE BLVD
AMERICA'S STORAGE	4311 OAK LAWN AVE STE 360	DALLAS, TX	75219	6511 COLLEYVILLE BLVD
SELECT ROOFING LLC	6605 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6605 COLLEYVILLE BLVD
TRES ROSAS LTD	6516 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6526 COLLEYVILLE BLVD
HART, DAVID ATTORNEY	6620 COLLEYVILLE BLVD STE 100	COLLEYVILLE, TX	76034	6620 COLLEYVILLE BLVD #
LE CROY, KENNETH	6630 COLLEYVILLE BLVD	COLLEYVILLE, TX	76034	6630 COLLEYVILLE BLVD
JERRY J BOYD DDS PC	6620 COLLEYVILLE BLVD STE 200	COLLEYVILLE, TX	76034	6620 COLLEYVILLE BLVD #
GREEN, KEN	6508 COLLYVILLE BLVD STE 300	COLLEYVILLE, TX	76034	6508 COLLEYVILLE BLVD #
3 J GREEN LIMITED PARTNERSHIP	6620 COLLYVILLE BLVD STE 100	COLLEYVILLE, TX	76034	6630 COLLEYVILLE BLVD
HORNBECK, TONI	6600 COLLEYVILLE BLVD STE C	COLLEYVILLE, TX	76034	6600 COLLEYVILLE BLVD #
CUSTOM TURF SERVICES INC	PO BOX 1691	COLLEYVILLE, TX	76034	6600 COLLEYVILLE BLVD
ARROYO NORTE LTD	6516 COLLYVILLE BLVD	COLLEYVILLE, TX	76034	6600 COLLEYVILLE BLVD
MONTERRA HOA	6811 MILTON DRIVE	COLLEYVILLE, TX	76034	COURTESY NOTICE
MONTERRA HOA	4113 GATEWAY DRIVE, # 100	COLLEYVILLE, TX	76034	COURTESY NOTICE
ROSS DOWNS ESTATES HOA	4114 GATEWAY DRIVE, # 100	COLLEYVILLE, TX	76035	COURTESY NOTICE
GREEN, KEN	2900 SHERWOOD LANE	COLLEYVILLE, TX	76034	APPLICANT
GRAPEVINE-COLLEYVILLE ISD	3051 IRA WOODS AVE E	GRAPEVINE, TX	76051	STATE LAW REQUIRED

Public hearing notices were mailed
Friday, March 24, 2017 by Araceli Botello