



# CITY OF COLLEYVILLE CITY COUNCIL AGENDA

100 Main Street, Colleyville, Texas, 76034

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**TUESDAY, JULY 7, 2026**

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**WORKSESSION  
5:30 PM  
EXECUTIVE CONFERENCE ROOM  
THIRD FLOOR**

## **CALL TO ORDER**

- WS-1** Discussion of prohibiting overnight parking at City facilities and parks
- WS-2** Presentation and discussion of the City's new website homepage
- WS-3** Discussion of the July 7, 2026, City Council regular agenda items

### **1. EXECUTIVE SESSION - In accordance with Texas Government Code, Chapter 551, Subchapter D**

Section 551.071 - Legal - Consultation with the City Attorney regarding items on the agenda or for matters in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Code

Section 551.072 - Real Estate - Deliberate the purchase, exchange, lease, or value of real property for City facilities

Section 551.087 - Economic Development - Discuss or deliberate regarding commercial or financial information the City has received from business prospects the City seeks to have locate, stay, or expand in the City and with which the City is conducting economic development negotiations; deliberate the offer of a financial or other incentive to a business prospect

**REGULAR MEETING  
7:00 P.M.  
CITY COUNCIL CHAMBERS**

**INVOCATION: Pastor Josh Anderson, Colleyville Presbyterian Church  
PLEDGE OF ALLEGIANCE: City Attorney**

### **2. EXECUTIVE SESSION READING AND PUBLIC HEARING: CONSIDER AND TAKE ANY ACTION(S) NECESSARY RELATIVE TO ITEMS DISCUSSED IN EXECUTIVE SESSION - RESOLUTION R-26-5159**

**3. ANNOUNCEMENTS, PROCLAMATIONS, AND PRESENTATIONS**

Presentation of the Texas Municipal Clerks Association Municipal Clerk's Office Achievement of Excellence Award to the City of Colleyville — Mayor Pro Tem Brandi Elder and City Secretary Christine Loven

**4. CONSENT: READING AND PUBLIC HEARING - RESOLUTION R-26-5160**

**4a** Approval of the June 16, 2026, City Council minutes

**4b** Approval of the Fiscal Year 2027 Colleyville Crime Control and Prevention District budget

**4c** Approval of the Interlocal Agreement between the City of Colleyville and Grapevine-Colleyville Independent School District for fiber optic cable installation renewal and amendment

**5. ORDINANCE(S): FIRST READING AND PUBLIC HEARING****5a Ordinance O-26-2374**

Consideration of a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, zoned R-15 Single-Family Residential, located at 3505 Blue Quail Lane, Case ZC26-013

**6. CITIZEN COMMENTS****7. RESOLUTION: DISCUSSION AND CONSIDERATION OF A RESOLUTION RATIFYING COUNCIL AGENDA ACTION FOR TUESDAY, JULY 7, 2026 - READING AND PUBLIC HEARING - RESOLUTION R-26-5161****8. ADJOURNMENT**

I hereby certify this agenda was posted on City Hall bulletin boards *Wednesday, July 1, 2026*, by 5:00 p.m.

Christine Loven, TRMC  
City Secretary

A quorum of any Colleyville board, commission, or committee may be present at this meeting. Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the City Secretary at least 48 hours in advance at 817.503.1130, and reasonable accommodations will be made to assist you.



## CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** WS-1

**Agenda Date** 7/7/2026

**Type** Worksession

**Department** City Manager

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### **Title**

Discussion of prohibiting overnight parking at City facilities and parks

### **Explanation**

This agenda item provides for a discussion of prohibiting overnight parking at City facilities and parks.

### **Attachments**

1. Overnight Parking Presentation

# Discussion of Regulating Overnight Parking at City Facilities & Parks

City Council Worksession  
July 7, 2026



- The City has occasionally had challenges with overnight parking at City facilities and parks.
  - Overnight parking, particularly when vehicles are occupied by people overnight, brings safety concerns.
  - Some City events require full use of the City's parking lot. With no ordinance prohibiting overnight parking, it can be difficult to require vehicles to move prior to an event and staff must rely on cooperation from car owners.
- Staff discussed options to adopt an ordinance prohibiting overnight parking at City facilities and parks which we are bringing forward for Council consideration and feedback

# Potential Regulations



- Overnight parking prohibited at listed locations
- No person shall stand or park any vehicle in, along, or upon any public facilities or park property, including parking lots, **between the hours of 2:00 a.m. and 6:00 a.m.**
- Not applicable to:
  - Vehicles being used for emergency purposes
  - Vehicles being used by a utility company for repair purposes
  - Governmental vehicles being used for governmental purposes, or
  - City employee's personal vehicle when the employee is conducting business for or on behalf of the City
- Draft ordinance provides a penalty of fine not to exceed \$500.00 for each offense; provides towing authority

Public / Park Facilities	Address
City Hall South Parking Lot	101 Terra Cotta Way
Central Fire Station & Administration	5209 Colleyville Boulevard
Fire Station 2	5212 Pool Rd.
Fire Station 3	312 W. McDonwell School Road
Justice Center	5201 Riverwalk Drive
Colleyville Center	5301 Riverwalk Drive
Colleyville Nature Center	101 Mill Wood Drive
Pleasant Run Soccer Complex & Park	6501 Pleasant Run Road
Recreation Center	5008 Roberts Road
Senior Center	2512 Glade Road
Webb House	408 Shelton Drive
Woodbriar Park	301 W. Greenbriar Drive
Bransford Park	405 Shelton Drive
Kimzey Park	2201 Broadoak Way
LD Lockett Park	315 L.D. Lockett Road
McPherson Park	240 West McDonwell School Road
Overland Park	7500 Overland Trail
Reagan Park	709 L.D. Lockett Road
Sparger Park	4301 Bedford Road
Kidsville Playground at City Park	5109 Bransford Road
City Park	5205 Bransford Road

# Questions & Discussion



# CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** WS-2

**Agenda Date** 7/7/2026

**Type** Worksession

**Department** City Manager

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## **Title**

Presentation and discussion of the City's new website homepage

## **Explanation**

Staff will provide for the discussion of the City's new website homepage.

## **Attachments**



# CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** WS-3

**Agenda Date** 7/7/2026

**Type** Worksession

**Department** City Secretary

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**Title**

Discussion of the July 7, 2026, City Council regular agenda items



# CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number 1**

**Agenda Date 7/7/2026**

**Type** Executive Session

**Department** City Secretary

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## **Title**

Section 551.071 - Legal - Consultation with the City Attorney regarding items on the agenda or for matters in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Code

Section 551.072 - Real Estate - Deliberate the purchase, exchange, lease, or value of real property for City facilities

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## **Attachments**

**RESOLUTION R-26-5159**

**A RESOLUTION APPROVING COUNCIL ACTION REGARDING  
EXECUTIVE SESSION ITEMS AT THE REGULAR CITY COUNCIL  
MEETING OF JULY 7, 2026**

**WHEREAS,** following discussion in Executive Session, and in full accordance with the requirements of the Open Meetings Act, the City Council determines that the following action is in the best interests of the health, safety, and welfare of the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF COLLEYVILLE, TEXAS:**

Sec. 1. THAT

**AND IT IS SO RESOLVED.**

APPROVED BY A VOTE OF \_ AYES, \_ NAYS ON THIS THE 7<sup>TH</sup> DAY OF JULY 2026.

Mayor Bobby Lindamood	_____	Mark Alphonso, Place 2	_____
Mayor Pro Tem Brandi Elder	_____	Ben Graves, Place 4	_____
Deputy Mayor Pro Tem Scotty Richardson	_____	Tim Raine, Place 6	_____
Kimberly Holt Gunderson, Place 5	_____		

**ATTEST:**

**CITY OF COLLEYVILLE**

Christine Loven  
City Secretary, TRMC

Bobby Lindamood  
Mayor



## CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** 3

**Agenda Date** 7/7/2026

**Type** Announcements, Proclamations, and Presentations

**Department** City Secretary

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### **Title**

Presentation of the Texas Municipal Clerks Association Municipal Clerk's Office Achievement of Excellence Award to the City of Colleyville — Mayor Pro Tem Brandi Elder and City Secretary Christine Loven

### **Attachments**

**RESOLUTION R-26-5160**

**APPROVING CITY COUNCIL ACTION UNDER CONSENT ITEMS AT THE REGULAR CITY COUNCIL MEETING OF JULY 7, 2026**

**WHEREAS,** City Council has taken action on certain items on the agenda under Consent Items.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF COLLEYVILLE, TEXAS:**

- Sec. 1. THAT the agenda decisions approved by City Council action under Consent Items as follows are hereby adopted:
  - a. Approval of the June 16, 2026, City Council minutes
  - b. Approval of the Fiscal Year 2027 Colleyville Crime Control and Prevention District budget
  - c. Approval of the Interlocal Agreement between the City of Colleyville and Grapevine-Colleyville Independent School District for fiber optic cable installation renewal and amendment

**AND IT IS SO RESOLVED.**

APPROVED BY A VOTE OF \_ AYES, \_ NAYS, ON THIS THE 7<sup>TH</sup> DAY OF JULY 2026.

Mayor Bobby Lindamood	_____	Mark Alphonso, Place 2	_____
Mayor Pro Tem Brandi Elder	_____	Ben Graves, Place 4	_____
Deputy Mayor Pro Tem Scotty Richardson	_____	Tim Raine, Place 6	_____
Kimberly Holt Gunderson, Place 5	_____		

**ATTEST:**

**CITY OF COLLEYVILLE**

Christine Loven  
City Secretary, TRMC

Bobby Lindamood  
Mayor



# CITY OF COLLEYVILLE CITY COUNCIL MINUTES

100 Main Street, Colleyville, Texas, 76034

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**TUESDAY, JUNE 16, 2026**

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Mayor Bobby Lindamood called the Colleyville City Council Worksession to order on Tuesday, June 16, 2026, at 5:35 p.m.

**ROLL CALL:** Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.

**ABSENT:** Councilmember Tim Raine.

**ALSO PRESENT:** City Manager Jerry Ducay, Assistant City Manager Mark Wood, Assistant City Manager Adrienne Lothery, Economic Development Director Chelsea Rose, Human Resources Director Jesse Perez, Police Chief Michael Miller, Community Development Director Ben Bryner, Finance Director Cassie Smith, Public Works and Parks and Recreation Director Lisa Escobedo, Library Director Jack Pawlowski, City Attorney Whitt Wyatt, and City Secretary Christine Loven.

**WS-1** Discussion of Health and Dental Insurance Renewal

Human Resources Director Jesse Perez introduced this item and explained the process utilized by the City to bid health benefits. Director Perez introduced Andrew Weegar, Senior Account Executive, HUB International, the City's employee benefits broker, noting Mr. Weegar was present if there are questions. Director Perez reviewed the City's claims versus premiums for FY 25 and the first seven months of FY26, noting insurers desire a fully insured target loss ratio of 85% and City's loss ratio was 85.3% and 94.5% in FY25 and year-to-date for FY26 respectively. He then reviewed the medical RFP vendor list, reviewing the three finalists and vendor's proposals. Director Perez went on review the dental RFP vendor list and their rate proposals. He stated after negotiations and receiving the best and final rates, Blue Cross and Blue Shield for medical and dental is recommended, with the total rate increase of 6.7% when medical and dental are bundled and equals a FY27 rate increase of \$254,581.

Director Perez reviewed premium contributions with five options and costs for each option which included the City absorbing the increase, the increase being passed on to employees, and shared City/employee splits of 50%, 40%, and 30%.

City Council directed staff to provide an additional history of renewal rates, loss ratios, actual increases absorbed by the City and employees, for FY15 through FY26, prior to the item being acted on at the next meeting.

**WS-2** FY27 Preliminary Budget Discussion

Finance Director Cassie Smith provided highlights of the Fiscal Year 2027 budget which will focus on fiscal responsibility, economic development, drainage, community events/branding, infrastructure/beautification, and recreation and open space enhancements. She stated the budget is being constructed on an increase in M&O property tax revenues, a 14% homestead exemption, and includes debt service payments reflected in the I&S rate for the Recreation Center and fire apparatus payment schedule. Director Smith provided an overview of property tax, rate calculations, and property tax appraised values.

She provided the overview, projections, and expenses for both the general and utility funds, and reviewed next steps which include a worksession to discuss the 5-year CIP, budget presentations, certification of the tax rate calculations, and final adoption of the FY27 budget.

**WS-3** Economic Development Update

Economic Development Director Chelsea Rose provided an update on the City's economic development strategy, the economic impact of the City grants and gift cards, analytics which track occupancy rates, most visited locations within the City, and peak hours.

Director Rose noted within the last quarter, 11 new businesses have opened, five are coming soon, and she is working on more proposals.

City Council thanked Director Rose for all her efforts and results.

**WS-4** Discussion of the June 16, 2026, City Council regular agenda items

There was no discussion of this item.

Mayor Lindamood adjourned the Worksession at 6:30 p.m. and called the Executive Session to order.

**1. EXECUTIVE SESSION - In accordance with Texas Government Code, Chapter 551, Subchapter D**

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There was no action taken and Mayor Lindamood adjourned Executive Session at 7:00 p.m.

Mayor Lindamood called the regular meeting of the City Council to order at 7:09 p.m. and called the roll.

**ROLL CALL:** Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.

**ABSENT:** Councilmember Tim Raine.

**INVOCATION: Neda Moyad, Baha'I Community**  
**PLEDGE OF ALLEGIANCE: City Attorney**

**2. EXECUTIVE SESSION READING AND PUBLIC HEARING: CONSIDER AND TAKE ANY ACTION(S) NECESSARY RELATIVE TO ITEMS DISCUSSED IN EXECUTIVE SESSION - RESOLUTION R-26-5155**

This resolution was not needed.

**3. ANNOUNCEMENTS, PROCLAMATIONS, AND PRESENTATIONS**

Mayor Lindamood and the City Council provided announcements regarding community news and upcoming events.

**4. CONSENT: READING AND PUBLIC HEARING - RESOLUTION R-26-5156**

**4a** Approval of the June 2, 2026 City Council minutes

**4b** Appointing Alex Thomas to the Colleyville Center Advisory Committee, Mark Brooks to the Parks and Recreation Advisory Board, to a term to March 2028, and George Dodson, Ralph Hunkins, and Jay Anthony to the Colleyville Economic Development Corporation for a term to June 2028

Mayor Lindamood read Resolution R-26-5156 in its entirety.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Deputy Mayor Pro Tem Richardson made a motion to approve Resolution R-26-5156, seconded by Mayor Pro Tem Elder.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

## **5. ITEMS NOT FOR CITY COUNCIL ACTION**

### **5a Monthly Financial Report - May 2026**

Finance Director Cassie Smith presented the May report. She noted sales tax continues to exceed projections and overall, all funds are on track.

## **6. ORDINANCE(S): SECOND READING AND PUBLIC HEARING**

### **6a Ordinance O-26-2369**

Consideration of a rezoning from CC-1 Village Retail, PUD-C Planned Unit Development – Commercial, and AG Agricultural to PUD-C Planned Unit Development – Commercial zoning on Lot 1R, Block 1, The Gardens, and Tract 3G, Abstract 963, Absalom J. Lott Survey, located at 7009 and 7015 Colleyville Boulevard, Case ZC26-009

Mayor Lindamood read the caption of Ordinance O-26-2369.

Community Development Director Ben Bryner presented the rezoning to PUD-C Planned Unit Development – Commercial request and highlighted the proposed luxury garage development with a retail/office/flex-warehouse development. Director Bryner noted Buildings 1 and 2 are intended for retail, restaurant, office, and/or flex-warehouse uses, while Buildings 3 and 4 will be designated as garage condominiums, which will be sold as individual condominium units. The project incorporates an eight-foot-tall masonry wall along the east and west residential boundaries and a wrought iron fence with masonry columns along the south boundary, and the site will provide sufficient landscape buffering and screening adjacent to residential uses/zoning and along Colleyville Boulevard.

Mayor Lindamood stated this project is along the commercial corridor and will have, in his opinion, a more positive impact than other businesses, namely a gas station, who had previously been looking at the lot.

Deputy Mayor Pro Tem Scotty Richardson asked who will maintain the required landscaping and if the maintenance requirements, to include required tree replacement should be written into the ordinance.

City Manager Jerry Ducay asked if the developer would incorporate the design criteria and monument sign as presented in Exhibit "D" presented to City Council on this date. Mayor Lindamood stated he is aware the developer met with staff and residents and made several changes to the original plans, including reducing the building size, window changes, and wall construction.

Fred Gans, Garages of America, came forward and advised an HOA would be created which will be responsible for the landscape maintenance. He also agreed to the City Manager's request to include the architectural design into the buildings and monument sign as requested.

Mayor Lindamood opened the public hearing.

Speaking in opposition to the item was Darin Szilagy. Wishing not to speak, but registering opposition was David Hawthorne, Jon Kolger, and the Duncans, all of Colleyville.

There were no others wishing to speak and Mayor Lindamood closed the public hearing.

Mayor Lindamood read a letter from Councilmember Raine which was in support of the project. City Attorney Whitt Wyatt clarified Councilmember Raine is not present and will not be voting on this item.

**Councilmember Alphonso made a motion to approve Ordinance O-26-2369, with the amendment to include the architecture and monument sign which was presented as Exhibit D will be required and included in the Ordinance, seconded by Mayor Pro Tem Elder.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

**6b Ordinance O-26-2370**

Consideration of a Special Use Permit for a carport on Lot 2A, Adair & Brown Estates, zoned R-40 Single-Family Residential, located at 6916 Pleasant Run Road, Case ZC26-007

Mayor Lindamood read the caption of Ordinance O-26-2370.

Community Development Director Ben Bryner presented the request for a Special Use Permit to allow for a carport with modifications to the maximum length requirement and to the masonry column requirements.

Mayor Lindamood asked if the applicant had brought forward the quotes for wrapping the columns which City Council had requested.

Applicant Linda Kientz was present and provided to City Council the estimates she received for adding both a 30 inch and full brick wrap on the carport front pillars. There was discussion with the applicant regarding alternatives to the depth and width of the carport, columns, additional auto storage on the property, and the number of vehicles she is trying to protect.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Mayor Lindamood made a motion to approve Ordinance O-26-2370, with the amendment the SUP will allow a carport of 24 feet in length, 20 feet in width, 10 feet in height, and 480 square feet in area, and the front two columns must be wrapped with masonry (brick and/or stone) a minimum of 30 inches, second by Mayor Pro Tem Elder.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

**6c Ordinance O-26-2371**

Consideration of a Special Use Permit for Alcoholic Beverage Sales – On-Premises Consumption on Lot 1, Block 1, Village Front Door Addition, zoned PUD-C Planned Unit Development – Commercial, located at 5204 Colleyville Boulevard, Case ZC26-011

Mayor Lindamood read the caption of Ordinance O-26-2371.

Community Development Director Ben Bryner presented this item which would allow for on premise consumption of alcohol at the new Lucille's Restaurant.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Mayor Pro Tem Elder made a motion to approve Ordinance O-26-2371, seconded by Councilmember Alphonso.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

**6d Ordinance O-26-2372**

Consideration of a Special Use Permit for a reduction in parking on Lot 1, Block 1, Village Front Door Addition, zoned PUD-C Planned Unit Development – Commercial, located at 5204 Colleyville Boulevard, Case ZC26-012

Mayor Lindamood read the caption of Ordinance O-26-2372.

Community Development Director Ben Bryner presented this item which would allow for a reduction of parking spaces at the new Lucille’s Restaurant.

Terry Kearney, the applicant for Lucille’s was present and thanked the City Council and staff for working with them and stated Lucille’s is happy to be in Colleyville.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Councilmember Holt Gunderson made a motion to approve Ordinance O-26-2372, seconded by Mayor Lindamood.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

**6e Ordinance O-26-2373**

Repealing and replacing Chapter 6, Alcoholic Beverages in the Colleyville Code of Ordinances

Mayor Lindamood read the caption of Ordinance O-26-2373.

Community Development Director Ben Bryner presented this item which repeals Chapter 6 of the Code of Ordinances to provide for removal of obsolete language and change the alcohol/non-alcohol ratio to 25% alcohol sales to 75% non-alcohol and food sales ratio for on-premises consumption.

Mayor Lindamood noted this change is providing for more economic development growth.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Councilmember Graves made a motion to approve Ordinance O-26-2373, seconded by Councilmember Alphonso.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

## **7. RESOLUTION(S): READING AND PUBLIC HEARING**

### **7a Resolution R-26-5157**

Approval of a third amendment to the Agreement of Sale and Purchase with CDC Equities, LLC, for the purchase price of the City-owned 3.81 acres at 7015 Colleyville Boulevard, and authorizing the City Manager to execute the Agreement

Mayor Lindamood read Resolution R-26-5157.

Assistant City Manager Mark Wood presented this item, noting the sale of this property to Garages of America was dependent on the zoning which City Council approved earlier in the evening. Manager Wood stated approval of the amendment will be the final step to going to closing on the sale of the property for \$1.8 million. He also thanked Fred Gan for working with City staff to provide enhancements to the building design.

Mayor Lindamood opened and closed the public hearing without anyone wishing to speak.

**Deputy Mayor Pro Tem Richardson made a motion to approve Resolution R-26-5157, seconded by Mayor Pro Tem Elder.**

**The motion was approved by the following vote:**

**Ayes: 6 – Mayor Bobby Lindamood, Mayor Pro Tem Brandi Elder, Deputy Mayor Pro Tem Scotty Richardson, and Councilmembers Mark Alphonso, Ben Graves, and Kimberly Holt Gunderson.**

**Absent: 1 – Councilmember Tim Raine.**

**8. CITIZEN COMMENTS**

There were no speakers.

**9. REPORTS**

- July 17, 2025 Tree Board Minutes
- May 11, 2026 Planning and Zoning Commission Minutes
- May 26, 2026 Planning and Zoning Commission Worksession Minutes

There was no action taken.

**10. RESOLUTION: DISCUSSION AND CONSIDERATION OF A RESOLUTION RATIFYING COUNCIL AGENDA ACTION FOR TUESDAY, JUNE 16, 2026 - READING AND PUBLIC HEARING - RESOLUTION R-26-5158**

This resolution was not needed.

**11. ADJOURNMENT**

There being no further business before the City Council, Mayor Lindamood adjourned the meeting without objection by the City Council at 8:45 p.m.

Minutes taken and prepared by:

*Christine Loven, TRMC  
City Secretary*



## CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** 4b

**Agenda Date** 7/7/2026

**Number** Resolution R-25-5160

**Type** Resolution

**Department** Police

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### **Title**

Approval of the Fiscal Year 2027 Colleyville Crime Control and Prevention District budget

### **Explanation**

#### ***Reading and Public Hearing***

In accordance with Chapter 363 of the Local Government Code, the Colleyville Crime Control and Prevention District (CCCPD) Board, held a public hearing on the proposed FY 2027 CCCPD budget on June 16, 2026.

Upon Board approval, the CCCPD budget must be submitted to the City Council for approval or rejection within ten days. Per Sec. 363.205(d) of the Local Government Code, the governing body may not amend the budget submitted by the Board. If the governing body rejects the budget submitted by the Board, the governing body and the Board shall meet and together amend and approve the budget before the beginning of the fiscal year. This agenda item allows for City Council consideration of the CCCPD budget.

If approved, the FY27 CCCPD budget forecasts revenues at \$3,645,000, expenditures of \$3,593,352, with a projected ending fund balance on September 30, 2027 at \$3,747,298.

### **Financial Impact**

The attached proposed budget provides estimated fund balances and revenues, as well as a detailed list of proposed expenditures.

### **Recommendation**

Approve

### **Attachments**

1. CCCPD FY27 Budget Presentation

**FY 2027 Colleyville Crime Control  
Prevention District Budget  
(CCCPD)**

Assistant Chief Hillary Wreay  
Colleyville City Council  
July 7, 2026



## **Creation & Authorization**

- The CCCPD was first established in 1999 by local voters for an initial five year period. Voters renewed the District for an additional 20 years in 2003
- In 2023, voters renewed the District for an additional 20 year period
- The District will be eligible for renewal again in 2043

## **District Powers**

- Local Government Code Chapter 363, Section 363.151

“The district may finance all the costs of a crime control and crime prevention program, including the costs for personnel, administration, expansion, enhancement, and capital expenditures.”

# **Updates on Initiatives from Previous FYs**

## **Partial Funding for Full-time Network & Cybersecurity Administrator:**

- The employee (Julian Smith) was hired into the position last year and is reporting to the Information Systems Management department
  - Annual funding of \$54,869 is provided from CCCPD
  - Additional \$54,869 is provided via the Utility Fund
- This role provided immediate and on-going federal security requirement realignment including citywide IT cybersecurity, network infrastructure, and utility enhancements.

# **New Funding Request for FY27**

## Taser Replacement Program

- CPD purchased the current Taser model X26P in 2019
- Vendor indicated the model is approaching end of life (loss of cartridge availability, replacement handles, and software/firmware updates)
- No competitor on the market currently
- Propose to purchase 51 new Taser model 10's for **\$236,938.80**
- We can spread the total cost over 5 years with no interest which would be **\$47,387.16 per year** (approximately \$929.16 per unit / year)
- 5-year warranty – no renewal available
- Includes: All single-probe cartridges, replacement handles (if damaged), holsters, 2 Taser training suits, VR training platform, instructor training

## Taser Replacement Program

- Taser 10 is capable of firing 10 individual probes (X26P fires 2 probes at once with no reload possible)
- Taser 10 has a minimum range of zero feet making up-close targeting possible (X26P has minimum range of approximately 4 feet)
- Taser 10 has a maximum range of 45 feet (X26P has a maximum range of 15-25 feet)



## Police Motorcycle Replacement Program

- CPD purchased the current motorcycles (2) in 2019, and both are due for replacement
- The equipment on these motorcycles are over 10 years old as they were carried over from previous units
- As part of the replacement program, both the motorcycles and all associated emergency equipment should be replaced
- Propose to purchase two (2) Harley Davidson or BMW police motorcycles and equipment for approximately \$50,000 per unit for a total of **\$100,000**
- Actual costs for Harley Davidson (\$43,129 per unit) and for BMW (\$49,511 per unit)

## Police Motorcycle Replacement Program

- Utilized by our Traffic Unit with the purpose of reducing traffic related injuries and fatalities
- Traffic enforcement is focused on intersections with the most traffic crashes and complaints
- Unit investigates traffic crashes and hit and runs
- Utilize motorcycles due to increased visibility, accessibility, greater mobility and they are ideal for traffic enforcement and special escorts



## Ongoing Initiatives:

- Funding of Salary and Benefits for nineteen (19) full-time sworn officer positions
  - We are currently authorized for 50 sworn city-wide
  - 5 of the 19 are our SRO program
- Funding for a part-time Accreditation Coordinator position
- Funding for 2 part-time Public Service Officer positions
- Funding for half the Network & Cybersecurity Administrator – as approved with the FY26 budget.
- Records Management System software (CentralSquare) and maintenance
- Various software maintenance agreements
- Participation in the Metroport Teen Court Program at one-quarter of the regional costs

## **Ongoing Initiatives (cont):**

- Police Department vehicles primarily funded through CCCPD budget
  - Utilizing Enterprise for all fleet needs city-wide.
- Continuation of weapons replacement schedule
- Funding for SWAT training and equipment. We fill up to 3 slots on the Northeast Tarrant SWAT Team. This line item sets aside funding for all the necessary equipment and training for our members of the team.
- Funding for safety equipment and ongoing replacement, these items include collapsible rubber base traffic cones for each patrol unit
- Funding for Early Warning System / Internal Affairs System Annual Subscription

## **Ongoing Initiatives (cont):**

- License Plate Reader camera annual licensing costs
- Funding for Crime Scene Response
- Funding for annual training for de-escalation / crisis intervention and leadership development training
- Partial funding for a full-time Network & Cybersecurity Administrator

## **New Initiatives:**

- Funding for the Taser replacement program (51)
- Funding for Police motorcycle replacements (2)

# FY27 Proposed Budget



City of Colleyville CCCPD Fund Projection	2021	2022	2023	2024	2025	2026		2027	2028	2029	2030	2031	2032
	Actual					Original Budget	Revised Estimate	Proposed Budget	Projected Budget				
<b>Revenues:</b>													
SALES TAX	2,266,964	2,524,850	2,584,889	2,618,355	2,733,606	2,750,000	2,750,000	2,805,000	2,861,100	2,918,322	2,976,688	3,036,222	3,096,947
SALE OF SURPLUS PROPERTY	40,470	-	75,334	34,524	106,124	50,000	105,000	50,000	50,000	50,000	50,000	50,000	50,000
INVESTMENT INCOME/(LOSSES)	312	9,240	107,901	137,557	128,763	90,000	110,000	90,000	90,000	90,000	90,000	90,000	90,000
SRO REIMBURSEMENT	-	-	-	-	900,000	900,000	900,000	700,000	725,000	750,000	780,000	-	-
<b>Total Revenues</b>	<b>2,463,507</b>	<b>2,682,388</b>	<b>2,768,124</b>	<b>2,790,436</b>	<b>3,868,493</b>	<b>3,790,000</b>	<b>3,865,000</b>	<b>3,645,000</b>	<b>3,726,100</b>	<b>3,808,322</b>	<b>3,896,688</b>	<b>3,176,222</b>	<b>3,236,947</b>
<b>Expenses:</b>													
Police Operations	1,395,894	1,608,706	1,688,884	1,751,521	1,820,149	2,245,988	2,292,092	2,479,230	2,572,971	2,670,352	2,771,519	2,876,619	2,985,807
Police SRO	-	-	195,448	628,596	661,579	772,588	774,362	696,985	724,864	753,859	784,013	-	-
Information Services	-	-	-	-	-	54,108	54,108	69,137	71,902	74,779	77,770	80,881	84,116
<b>Total Expenses</b>	<b>1,395,894</b>	<b>1,608,706</b>	<b>1,884,332</b>	<b>2,380,117</b>	<b>2,481,728</b>	<b>3,072,684</b>	<b>3,120,562</b>	<b>3,245,352</b>	<b>3,369,738</b>	<b>3,498,990</b>	<b>3,633,302</b>	<b>2,957,499</b>	<b>3,069,923</b>
<b>Operating Transfers:</b>													
Transfers-out	(10,000)	(10,000)	(10,000)	(10,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)
Total Operating Transfers In/(Out)	(10,000)	(10,000)	(10,000)	(10,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)	(25,000)
<b>Operating Surplus/(Deficit)</b>	<b>1,057,614</b>	<b>1,063,682</b>	<b>873,793</b>	<b>400,320</b>	<b>1,361,765</b>	<b>692,316</b>	<b>719,438</b>	<b>374,648</b>	<b>331,362</b>	<b>284,332</b>	<b>238,387</b>	<b>193,723</b>	<b>142,024</b>
Eng Prof Svcs - Capital Outlay	-	250,000	-	-	-	-	-	-	-	-	-	-	-
Police Administration - Capital Outlay	-	-	-	-	485,109	165,000	165,000	48,000	48,000	48,000	48,000	48,000	-
Police Administration - SRO	-	-	33,132	-	-	-	-	-	-	-	-	-	-
Motor Vehicle Replacement	104,312	216,542	412,202	284,732	878,736	500,000	621,092	275,000	-	-	-	-	-
<b>Net Change in Available Funds</b>	<b>953,301</b>	<b>597,141</b>	<b>428,459</b>	<b>115,587</b>	<b>(2,080)</b>	<b>27,316</b>	<b>(66,654)</b>	<b>51,648</b>	<b>283,362</b>	<b>236,332</b>	<b>190,387</b>	<b>145,723</b>	<b>142,024</b>
<b>Available Funds, beginning</b>							3,762,304	3,695,650	3,747,298	4,030,661	4,266,993	4,457,380	4,603,103
<b>Available Funds, ending</b>							3,695,650	3,747,298	4,030,661	4,266,993	4,457,380	4,603,103	4,745,127
<b>90-day Operating (Reserve Policy)</b>							780,141	811,338	842,434	874,747	908,325	739,375	767,481
<b>Available Funds Above/(Below) Policy</b>							<b>2,915,510</b>	<b>2,935,960</b>	<b>3,188,227</b>	<b>3,392,245</b>	<b>3,549,054</b>	<b>3,863,728</b>	<b>3,977,646</b>

Questions and Discussion?



# CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** 4c

**Agenda Date** 7/7/2026

**Number** Resolution R-26-5160

**Type** Resolution

**Department** Information Services

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## **Title**

Approval of the Interlocal Agreement between the City of Colleyville and Grapevine-Colleyville Independent School District for fiber optic cable installation renewal and amendment

## **Explanation**

### ***Reading and Public Hearing***

The City of Colleyville and Grapevine-Colleyville Independent School District are working to renew and amend the current fiber optic Interlocal Agreement (ILA). The proposed amendment extends the ILA for an additional five years, clarifies responsibilities, and adds a section for GCISD to provide Colleyville one-time fiber splicing assistance in FY26 and FY27. An option for extended fiber support through the end of the term is also present.

Specifically, GCISD may perform fiber repairs, Colleyville may perform line locates and digging within City limits, and contracted entities may be utilized to provide services in lieu of internal resources. As deemed appropriate and necessary, the parties will share the cost of contracted service providers.

In fiscal years 2026 and 2027, the City of Colleyville will provide GCISD with a one-time cost of \$35,000.00 per year for fiber splicing assistance. An additional annual amount of \$25,000.00 may also be provided for the remainder of the first renewal term, if the parties mutually agreed. This will allow the City to complete all currently remaining internal below-ground fiber connections throughout the City.

## **Financial Impact**

Funds are currently provided within the Capital Improvement Plan Budget in the amount of \$35,000 per fiscal year.

## **Recommendation**

Approve

## **Attachments**

1. CV-GCISD-ILA-Renewal-Amendment-070726
2. ILA - City of Colleyville & GCISD Fiber Renewal and Amendment

# **City of Colleyville and Grapevine- Colleyville Independent School District Fiber Optic ILA Renewal and Amendment**

Information Systems Manager - Patrick Stotts  
City Council Meeting  
July 7, 2026

## ➤ **Proposed ILA Renewal Primarily Unchanged**

GCISD may perform fiber repair, COLLEYVILLE may perform line locates and digging within COLLEYVILLE, and contracted entities may be utilized to provide services in lieu of internal resources.

## ➤ **Maintenance Term Amendment**

ILA term extended for 5 years.

## ➤ **One-Time Splicing Assistance**

Annual \$35,000 payments will be paid to GCISD for fiber splicing assistance throughout the city. An additional annual amount of \$25,000 may be provided to GCISD for support costs during the remainder of the term.



# Questions and Discussion

**FIRST AMENDMENT TO  
INTERLOCAL AGREEMENT BETWEEN THE CITY OF COLLEYVILLE AND  
GRAPEVINE-COLLEYVILLE INDEPENDENT SCHOOL DISTRICT FOR FIBER**

This First Amendment to the Interlocal Agreement between the City of Colleyville and Grapevine-Colleyville Independent School District for fiber optic cable installation and maintenance (“First Amendment”), is made and entered into by and between the City of Colleyville, Texas, a Home Rule municipal corporation (“COLLEYVILLE”) and Grapevine-Colleyville Independent School District (“GCISD”), each acting by and through its duly appointed and authorized representatives.

**RECITALS**

**WHEREAS**, COLLEYVILLE and GCISD entered into that certain Interlocal Agreement for fiber dated the 7<sup>th</sup> day of March, 2017 (the “Agreement”); and

**WHEREAS**, COLLEYVILLE and GCISD desire to enter into this First Amendment, to extend the contractual obligations of both COLLEYVILLE and GCISD for fiber optic repair work for a First Renewal Term of five (5) years to deliver this key public service for both communities in accordance with the terms and conditions set forth in the Agreement and the First Amendment; and

**WHEREAS**, COLLEYVILLE and GCISD desire to enter into this First Amendment to amend the terms of the Agreement regarding fiber repairs, line locates, digging within Colleyville, the use of contracted entities, and initial fiber splicing assistance; and

**WHEREAS**, COLLEYVILLE and GCISD agree that the approval of this First Amendment is in the mutual interests of the parties and is in the best interests of the health, safety, and welfare of the public; and

**WHEREAS**, the Agreement and First Amendment, as amended hereby, is approved by the governing bodies of both COLLEYVILLE and GCISD; and

**WHEREAS**, the Agreement and First Amendment, as amended hereby, is authorized by and in conformance with Chapter 791 of the Texas Government Code, the Interlocal Cooperation Act (the “Act”).

**NOW, THEREFORE**, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree to the First Amendment as follows:

1. Recitals. All matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

2. Term. In conformance with Section 8.1 of the Agreement, the parties mutually agree to extend the term of the Agreement for a First Renewal Term beginning on the 28th day of July, 2026 and expiring on the 27th day of July, 2031.

3. Maintenance and Repair, Generally. Section 5.2 of the Agreement is hereby amended to provide that, during this five (5) year first renewal term, GCISD may perform fiber repair, COLLEYVILLE may perform line locates and digging within COLLEYVILLE, and contracted entities may be utilized to provide services in lieu of internal resources.

4. Fiber Splicing Assistance. During this five (5) year First Renewal Term, GCISD will provide Colleyville with initial fiber splicing assistance. COLLEYVILLE will provide GCISD with one-time costs in fiscal years 2026 and 2027 in the amount of \$35,000.00 per year for fiber splicing assistance. For the remainder of the First Renewal Term, if the parties mutually agree, COLLEYVILLE may provide annual support costs for fiber splicing assistance in the amount of \$25,000.00 per year. As the parties deem appropriate and necessary, the parties will share the cost of contracted service providers.

4. Other Terms and Conditions Remain. In the event of any inconsistencies between the Agreement and this First Amendment, the terms of this First Amendment shall control. Except as expressly set forth in this First Amendment, the Agreement is otherwise unmodified and remains in full force and effect.

6. Miscellaneous. This First Amendment may be executed in multiple counterparts, each of which shall be deemed an original, and all of such counterparts together shall constitute one and the same instrument. Delivery of an electronic copy of this First Amendment executed by a party hereto shall be deemed to constitute delivery of an original hereof executed by such party. This First Amendment shall be governed by and construed in accordance with the laws of the State of Texas. Except as modified hereby, the Agreement remains unmodified and in full force and effect.

IN WITNESS WHEREOF, the undersigned parties have executed this Amendment to be effective the \_\_\_\_\_ day of \_\_\_\_\_, 2026

[signature page to follow]

**CITY OF COLLEYVILLE**

By: \_\_\_\_\_  
Bobby Lindamood, Mayor

Date signed: \_\_\_\_\_

By: \_\_\_\_\_  
Jerry Ducay, City Manager

Date signed: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Christine Loven, City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Whit Wyatt, City Attorney

**GRAPEVINE-COLLEYVILLE ISD**

By: \_\_\_\_\_  
President, Board of Trustees

Date signed: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Secretary, Board of Trustees

APPROVED AS TO FORM:

\_\_\_\_\_  
Mike Leasor, Leasor Crass, P.C.  
Attorney for GCISD



# CITY OF COLLEYVILLE CITY COUNCIL BRIEFING

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**Agenda Number** 5a

**Agenda Date** 7/7/2026

**Number** Ordinance O-26-2374

**Type** Ordinance

**Department** Community Development

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## **Title**

Consideration of a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, zoned R-15 Single-Family Residential, located at 3505 Blue Quail Lane, Case ZC26-013

## **Explanation**

### ***First Reading and Public Hearing***

John Cullen, the applicant, has submitted a request for a Special Use Permit (SUP) for an accessory building on Lot 7, Block 3, Quail Crest Estates, being approximately 0.37 acres, and zoned R-15 Single-Family Residential.

**Analysis:** The applicant is requesting a SUP to allow for an accessory building which would exceed the four percent (4%) lot coverage, as permitted by the Land Development Code Section 3.27(A)(2)(a). The subject lot area is 16,149 square feet, which permits a maximum of 644 square feet (4%) for accessory buildings by right. The proposed structure is 880 square feet (5.46%), and the existing pergola is 144 square feet (0.89%). Altogether, the request is for 6.36% (1,024 square feet) accessory building lot coverage.

Land Development Code Section 3.27(A)(2)(d) authorizes that accessory buildings may be approved by a SUP when a request does not conform to the standards otherwise permitted by right.

**Existing Conditions/Background:** The subject property, 3505 Blue Quail Lane, is zoned R-15 Single-Family Residential and developed with a single-family house. It is located on the east side of Blue Quail Lane, and 125± feet north of Quail Crest Drive.

**Plat Status:** The subject property is platted as Lot 7, Block 3, Quail Crest Estates.

**DRC Review:** The DRC reviewed the request during their May 18, 2026, meeting and the case was scheduled for the June 8, 2026, Planning and Zoning Commission meeting.

**Surrounding Development:** The properties to the north, east, south, and west are zoned R-15 Single-Family Residential, and improved with single-family homes.

**Comprehensive Plan:** The City's comprehensive plan, *Destination Colleyville*, identifies the subject property for residential development.

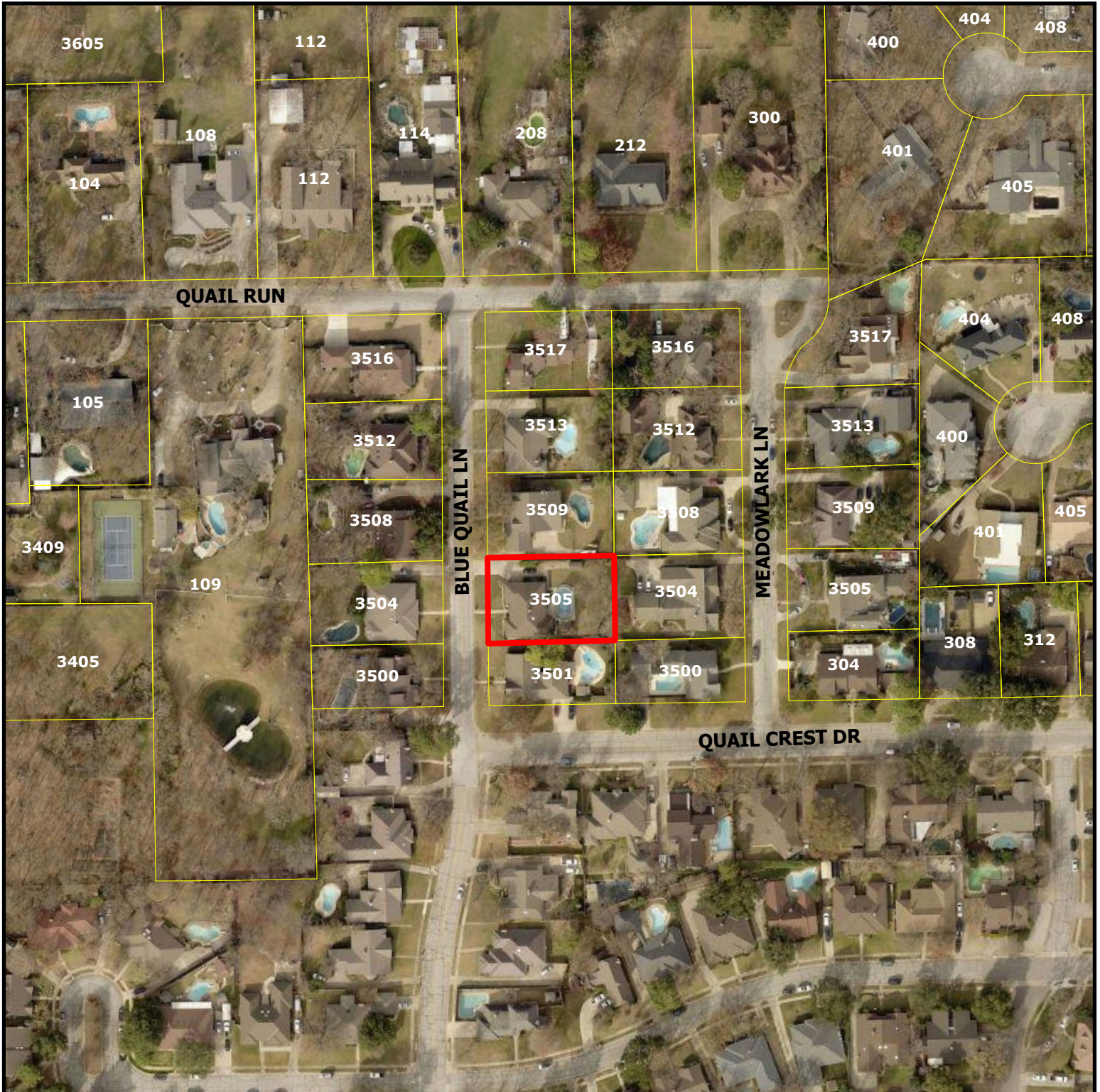
**Public Notification:** Staff mailed notices to all property owners within 500 feet as well as any Homeowners' Associations within 1,000 feet of the subject property regarding this request. Hurst-Euless-Bedford ISD, where the subject property is located, was notified per State law. Notice was published in the *Fort Worth Star-Telegram* as required by State law and the Land Development Code.

**Planning and Zoning Commission Recommendation:** The Planning and Zoning Commission recommended approval of the request at their June 8, 2026 meeting by a vote of 6-1.

### **Attachments**

1. Aerial Map
2. Future Land Use Map
3. Zoning Map
4. Site Plan
5. Elevations
6. Notification Map
7. Notification Letter
8. Ordinance O-26-2374

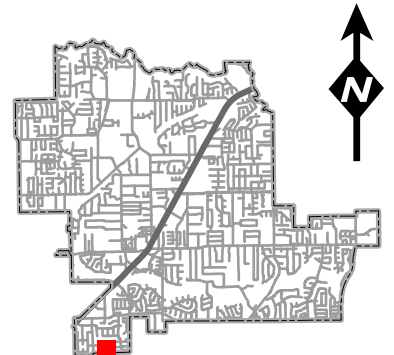
# Aerial Map



## ZC26-013

3505 Blue Quail Lane

 Subject Property



DISCLAIMER:  
This map and information contained in it were developed exclusively for use by the City of Colleyville. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of Colleyville, its officials or employees for any discrepancies, errors, or variances which may exist.

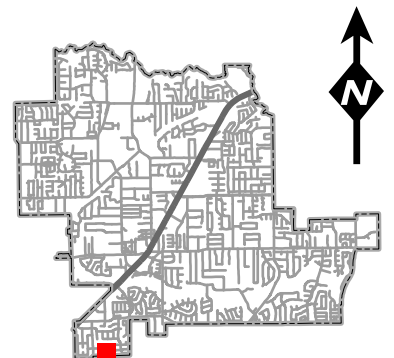
# Future Land Use Map



## ZC26-013

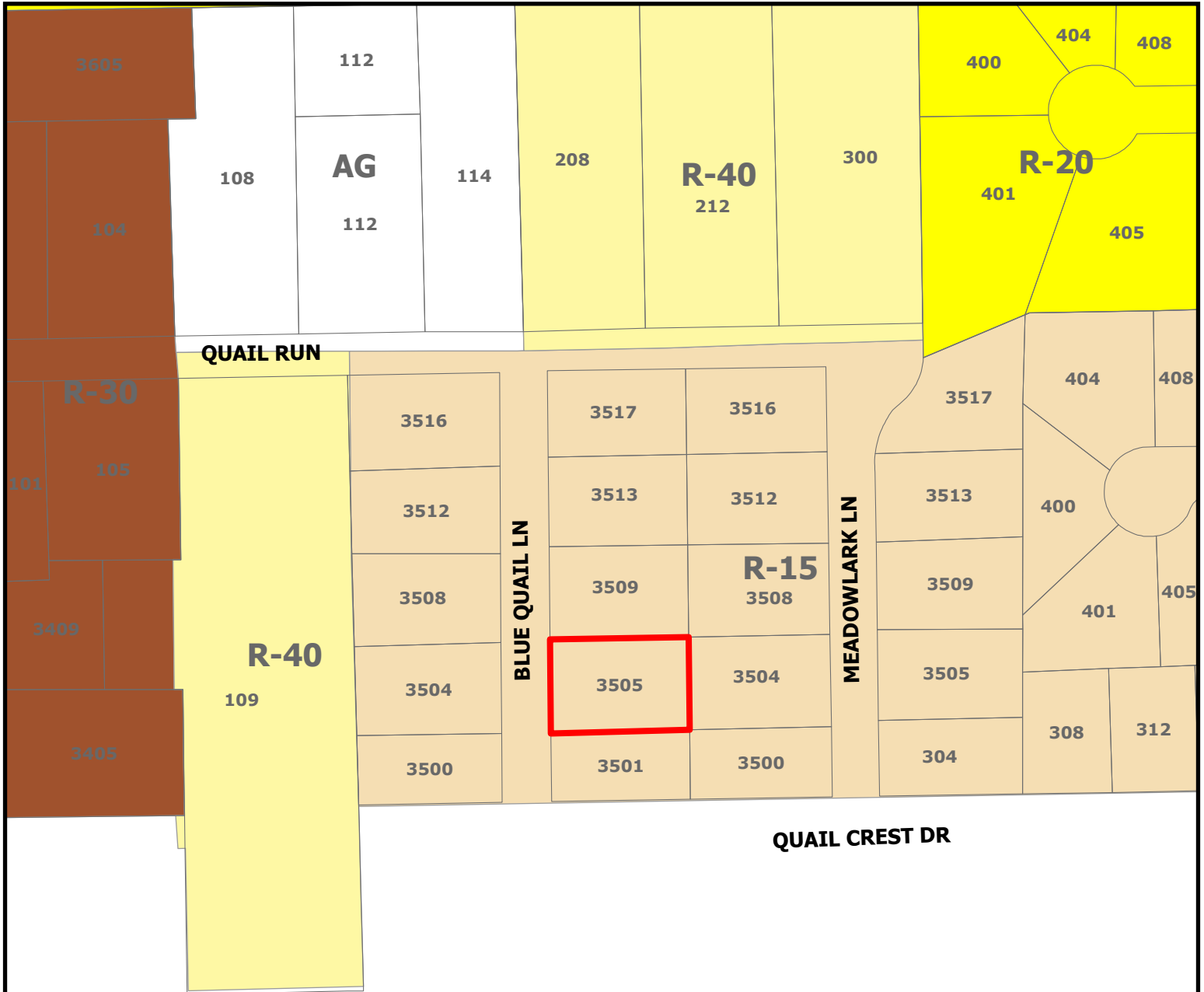
3505 Blue Quail Lane

- Residential
- Subject Property



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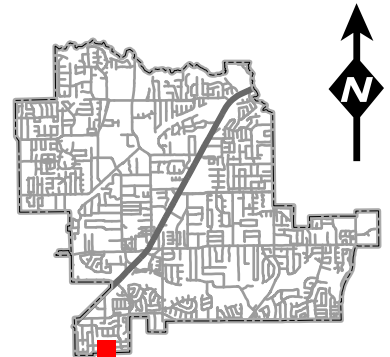
# Zoning Map



## ZC26-013

3505 Blue Quail Lane

 Subject Property



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# DETACHED GARAGE AT 3505 BLUE QUAIL, COLLEYVILLE, TX,



REV	DESCRIPTION	DATE

PROJECT NAME

## DETACHED GARAGE

ADDRESS

**3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034**

OWNER/CLIENT/TENANT

**JOHN CULLEN**

SHEET TITLE

## COVER PAGE

PREPARED BY

**G. S.**

CHECKED BY

**G. S.**

DATE

**4/29/2026**

SCALE

**1/4"=1'**

SHEET SIZE

**24"X36"**

SHEET NUMBER

© 2025

### GENERAL NOTES:

1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE CODES AND AMENDMENTS
3. -
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
5. ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, IMMEDIATELY.
6. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
9. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
10. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
11. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
12. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED TO MAINTAIN CLEAN AND SAFE PROJECT.
13. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
14. -
15. THE OWNER SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
16. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT, OR OWNER, ARCHITECT AND ENGINEER.
17. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING AND CORRECT STUD SPACING.
18. THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, OPENINGS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE STARTING ANY CONSTRUCTION RELATED TO SAID WORK AND/OR EQUIPMENT.
19. ALL MATERIALS SHALL BE NEW AND OF PREFERRED DOMESTIC MANUFACTURE AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR RECOMMENDATIONS UNLESS INDICATED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. ANY CONFLICT FOUND BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE DRAWINGS OR SPECIFICATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO INSTALLATION.

CODE SUMMARY  
APPLICABLE CODES IN EFFECT FOR CITY OF COLLEYVILLE, TX

ADOPTED CODE  
2024 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2024 INTERNATIONAL MECHANICAL CODE (IMC)  
2024 INTERNATIONAL PLUMBING CODE (IPC)  
2023 NATIONAL ELECTRICAL CODE (NEC)  
2024 INTERNATIONAL FIRE CODE



**ACTUAL**

### PROJECT DATA

#### SCOPE OF WORK:

1- DETACHED GARAGE

OWNER: JOHN CULLEN

PROJECT ADDRESS: 3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034

LEGAL ADDRESS: QUAIL CREST ESTATES, LOT 7

EXISTING LIVING SPACE: 2,368 SQ FT

PROPOSED DETACHED GARAGE: 880 SQ FT

LAND: 0.37 ACRES

### ABBREVIATIONS LEGEND

ABV – ABOVE LIV – LIVING ROOM  
ADJ – ADJACENT LIV – LAMINATED VENEER LUMBER  
AFF – ABOVE FINISHED FLOOR MAX – MAXIMUM  
ALT – ALTERNATE MECH – MECHANICAL  
APPROX – APPROXIMATELY MIN – MINIMUM  
AS-BLT – AS BUILT NIC – NOT IN CONTRACT  
CL – CENTERLINE NOS – NOSING  
CLR – CLEAR / CLEARANCE NTS – NOT TO SCALE  
CMU – CONCRETE MASONRY UNIT OC – ON CENTER  
CONC – CONCRETE OPNG – OPENING  
CONT – CONTINUOUS PAN – PANTRY  
DBL – DOUBLE PL – PROPERTY LINE  
DIM – DIMENSION PT – PRESSURE TREATED  
DN – DOWN REQ'D – REQUIRED  
DW – DRYWALL RO – ROUGH OPENING  
EQ – EQUAL ROOF – ROOF  
EXIST – EXISTING SD – STORM DRAIN / SLIDING DOOR  
FF – FINISHED FLOOR SOG – SLAB ON GRADE  
FFE – FINISHED FLOOR ELEVATION STOR – STORAGE  
FLR – FLOOR T&G – TONGUE AND GROOVE  
FUT – FUTURE TOS – TOP OF SLAB  
GWB – GYPSUM WALL BOARD TOB – TOP OF BEAM  
HDR – HEADER TOP – TOP OF PLATE  
HT – HEIGHT TOW – TOP OF WALL  
HVAC – HEATING, VENTILATION & AC TYP – TYPICAL  
INFO – INFORMATION UNO – UNLESS NOTED OTHERWISE  
KIT – KITCHEN VAR – VARIES  
LAV – LAVATORY VB – VAPOR BARRIER  
WC – WATER CLOSET  
WD – WOOD  
WIC – WALK-IN CLOSET

REV.	DESCRIPTION	DATE

PROJECT NAME

**DETACHED GARAGE**

ADDRESS

**3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034**

OWNER/CLIENT/TENANT

**JOHN CULLEN**

SHEET TITLE

**SITE PLAN**

PREPARED BY | CHECKED BY

**G. S. | G. S.**

DATE

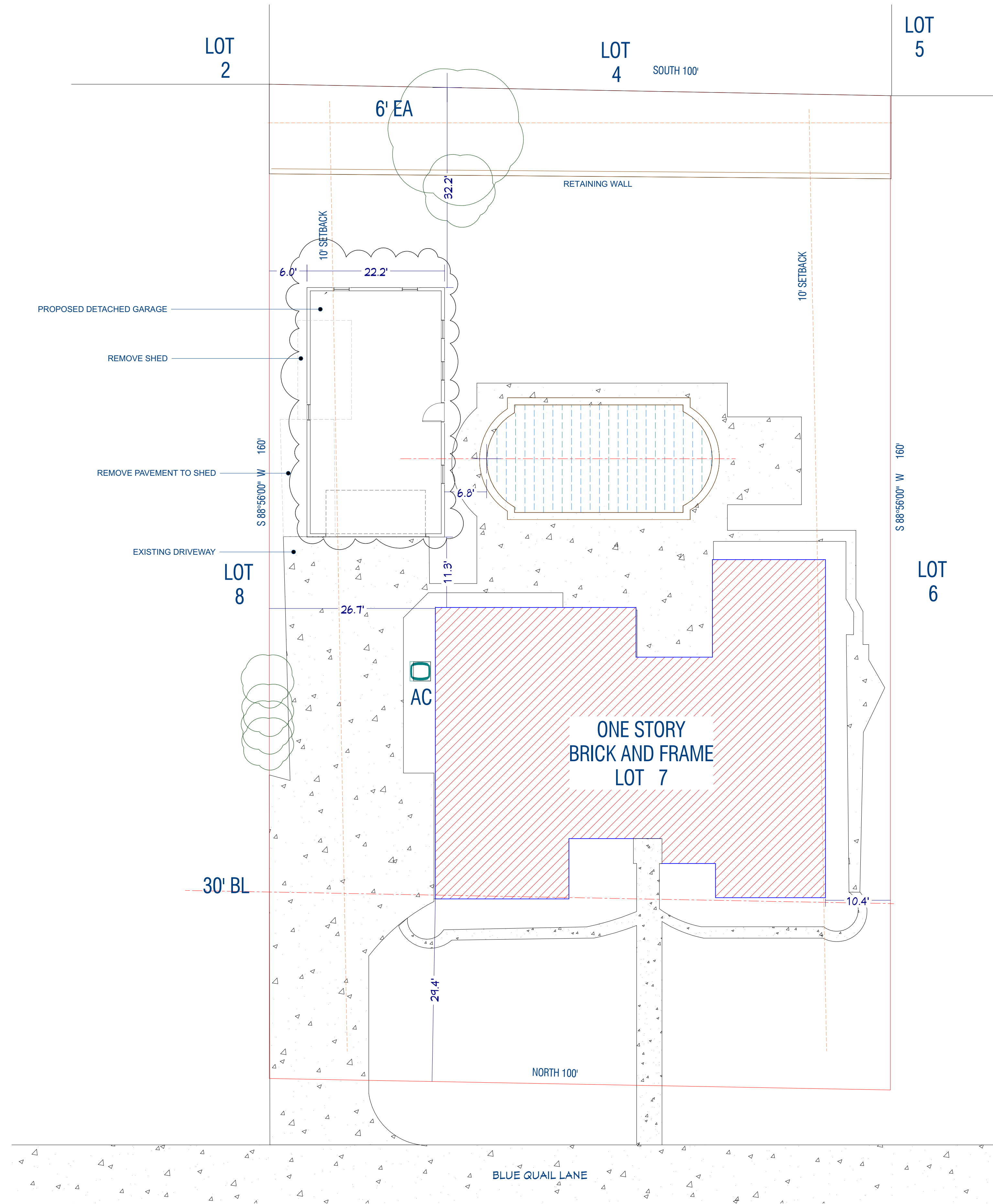
**4/29/2026**

SCALE | SHEET SIZE

**1/4"=1' | 24"X36"**

SHEET NUMBER:

© 2025



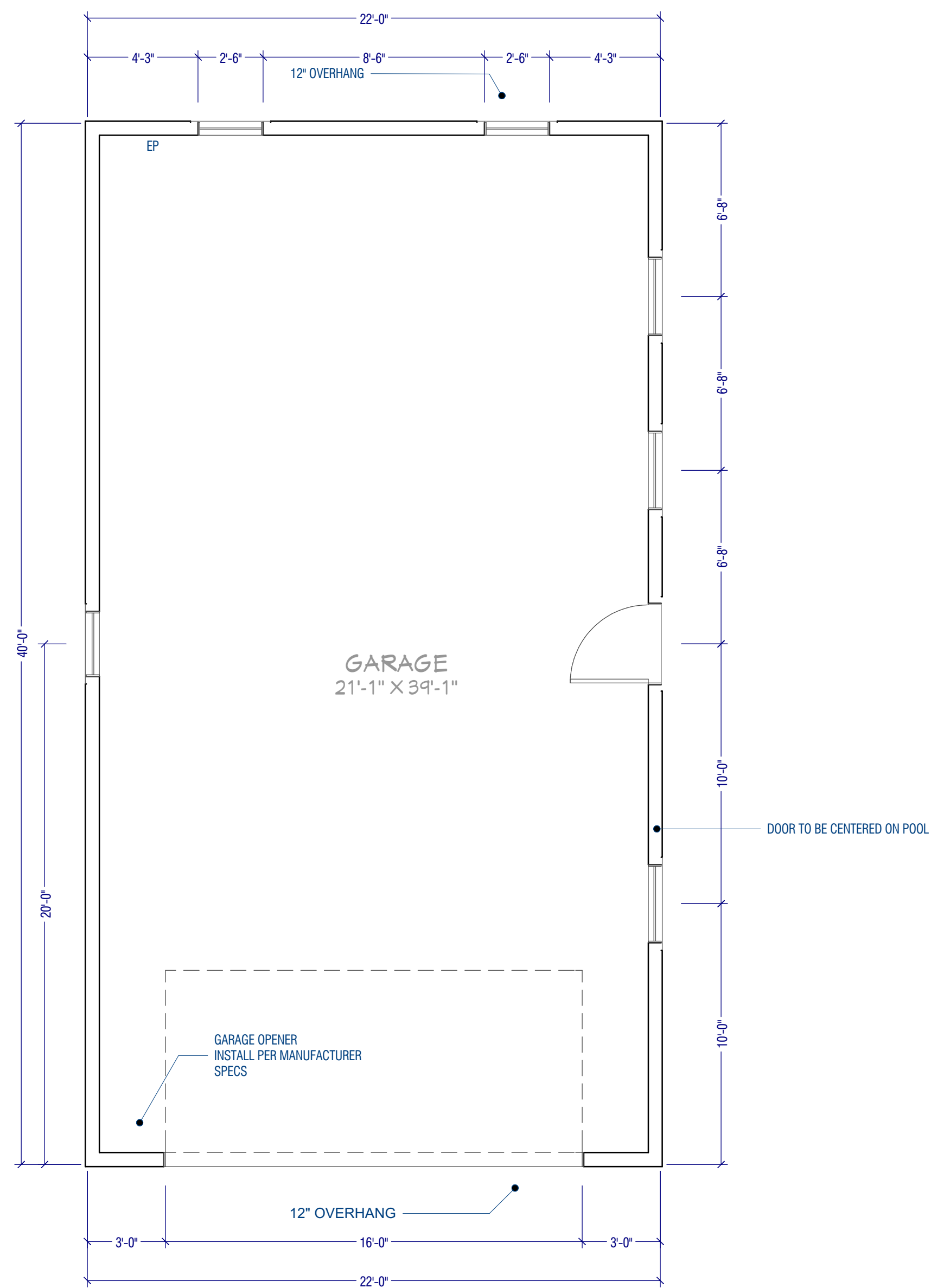
01  
A.101 **SITE PLAN**

SCALE: 1"=10'

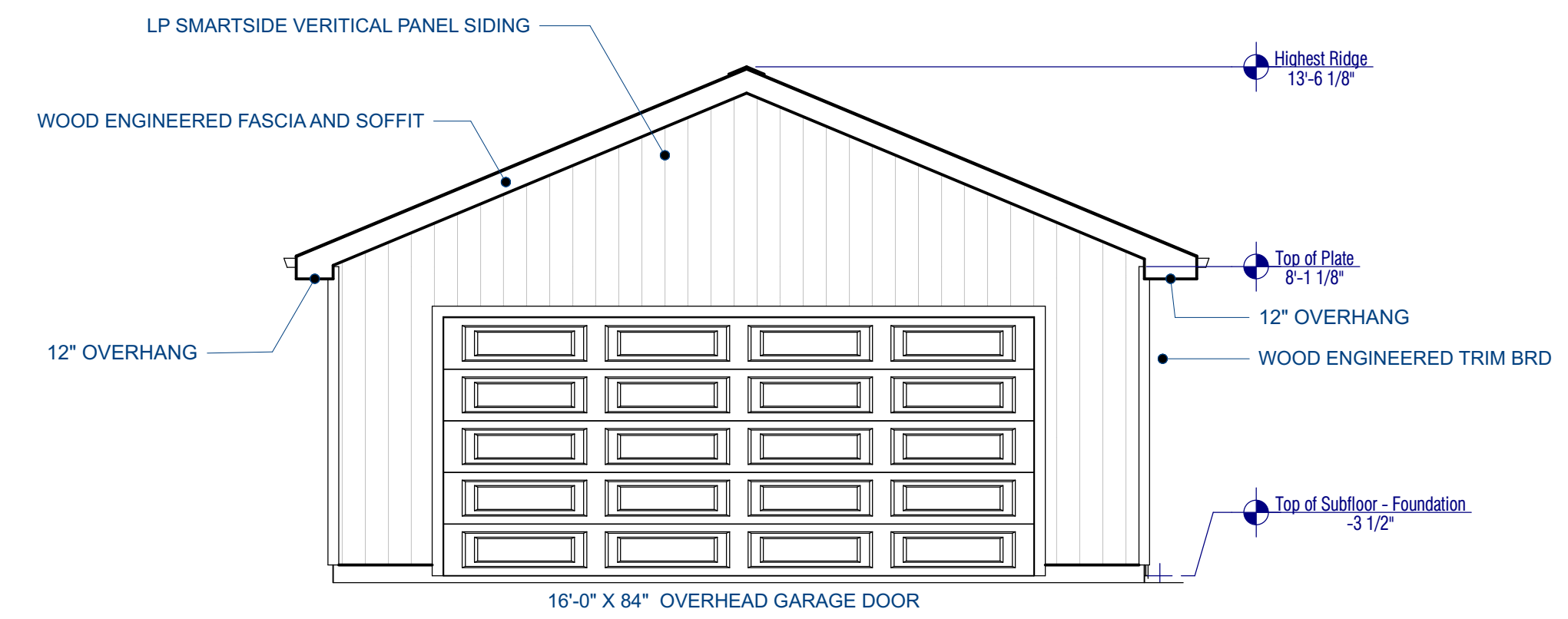
**A.101**

DIMENSIONS FROM FACE OF FRAME TO FACE TO FRAME; UNLESS SPECIFIED OTHERWISE

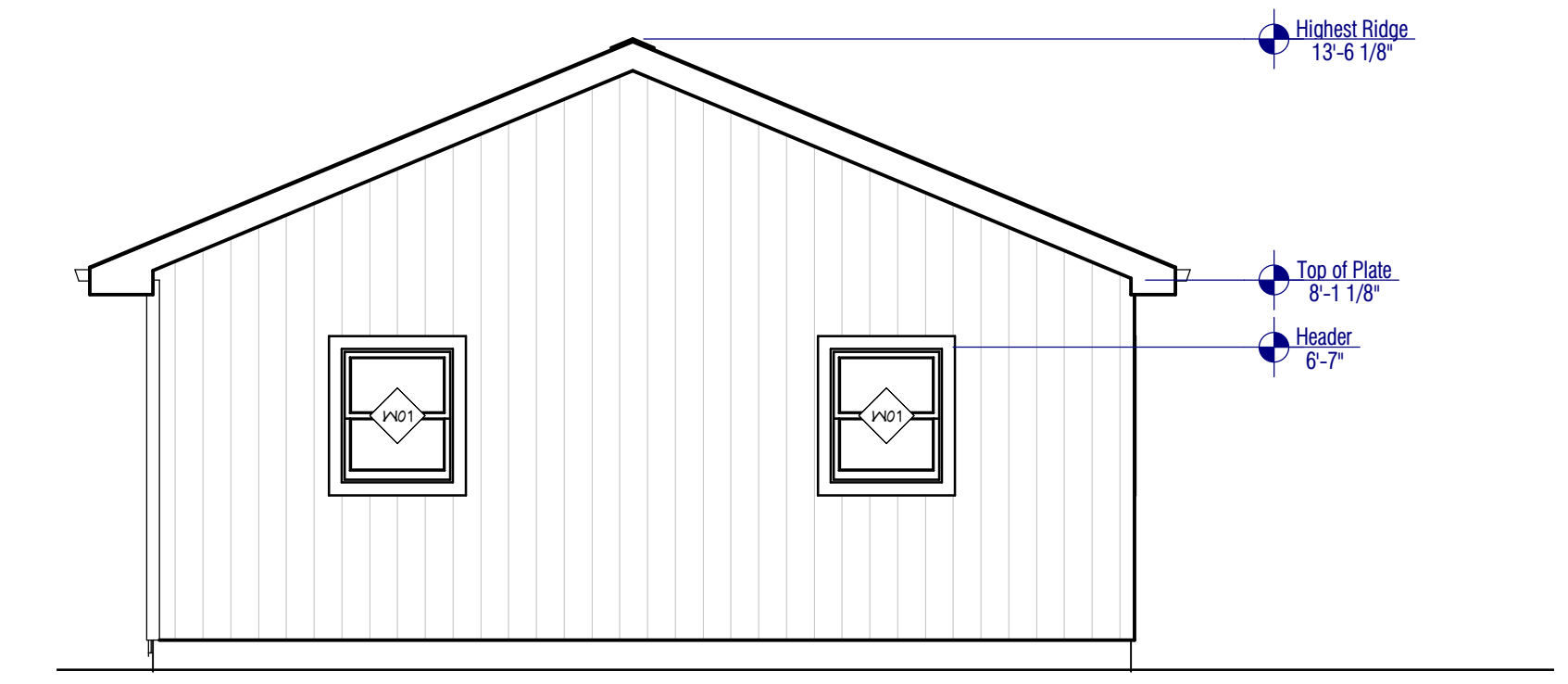
- DETACHED ACCESSORY GARAGE NOTES
- DETACHED ACCESSORY GARAGE SERVING EXISTING RESIDENCE.
  - NON-CONDITIONED STRUCTURE FOR PARKING AND STORAGE ONLY.
  - BUILDING AREA 880 SQUARE FEET (22' X 40').
  - INSTALL MATERIALS PER MANUFACTURER INSTRUCTIONS.
  - PROVIDE WEATHER-RESISTIVE BARRIER BEHIND EXTERIOR SIDING.
  - WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
  - USE
  - STRUCTURE SHALL NOT BE USED AS DWELLING OR HABITABLE SPACE.
  - FRAMING
  - EXTERIOR WALLS 2X6 STUDS @ 16" O.C., DOUBLE TOP PLATE.
  - HEADERS PER IRC TABLE R602.7 OR ENGINEERED DESIGN.
  - PROVIDE APPROVED CONNECTORS AND ANCHORS.
  - ANCHOR BOLTS 1/2" DIA. @ 6'-0" O.C. MAX AND WITHIN 12" OF ENDS.
  - PROVIDE REQUIRED BLOCKING AT BEARING POINTS.
  - ROOF
  - 12" EAVES TYPICAL.
  - MINIMUM 7/16" ROOF SHEATHING, PROVIDE DRIP EDGE AT EAVES AND RAKES.
  - ATTIC VENTILATION PER IRC, ASPHALT SHINGLES OR APPROVED EQUIVALENT.
  - EXTERIOR FINISH
  - LP SMARTSIDE SIDING OR APPROVED EQUAL. FLASH ALL OPENINGS AND PENETRATIONS.
  - CORROSION RESISTANT FASTENERS AND TRIM.
  - INTERIOR
  - INTERIOR UNFINISHED.
  - NO DRYWALL OR INSULATION.
  - FOUNDATION
  - CONCRETE FOUNDATION PER APPROVED FOUNDATION PLAN.
  - MINIMUM 3,000 PSI CONCRETE.
  - PROVIDE ANCHOR BOLTS AS NOTED.
  - CONTROL JOINTS AT 10'-0" MAX SPACING.
  - ELECTRICAL (2023 NEC)
  - GENERAL
  - PROVIDE 120V 20-AMP RECEPTACLE CIRCUIT. ALL 125-250V RECEPTACLES GFCI PROTECTED.
  - SUBPANEL: PROVIDE 4-WIRE FEEDER (H-I-N-G).
  - EQUIPMENT GROUNDING CONDUCTOR REQUIRED. NEUTRAL ISOLATED FROM GROUND IN SUBPANEL.
  - PROVIDE GROUNDING ELECTRODE SYSTEM: TWO GROUND RODS MIN. 6'-0" APART UNLESS =25 OHMS.
  - GROUNDING ELECTRODE CONDUCTOR SIZED PER NEC.
  - PROVIDE DISCONNECT AT STRUCTURE (MAIN BREAKER ACCEPTABLE), BOND ALL METAL BOXES AND EQUIPMENT.



**01** FLOOR PLAN  
**A.102** SCALE 1/4"=1'



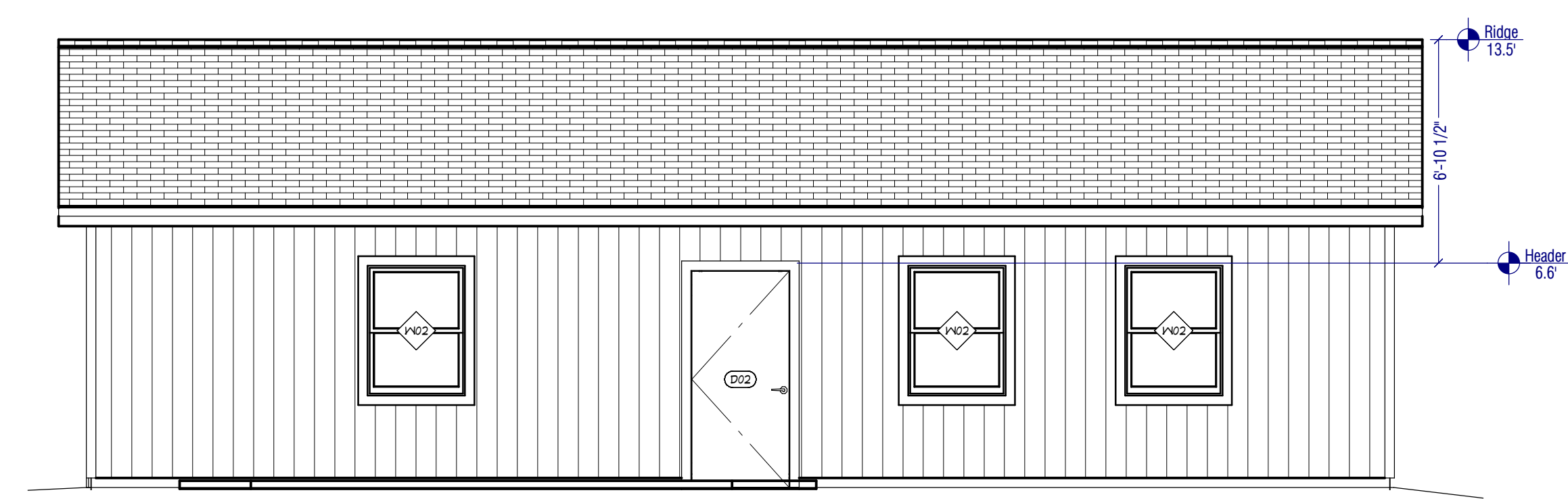
**E1** WEST ELEVATION  
**A.102** SCALE 1/4"=1'



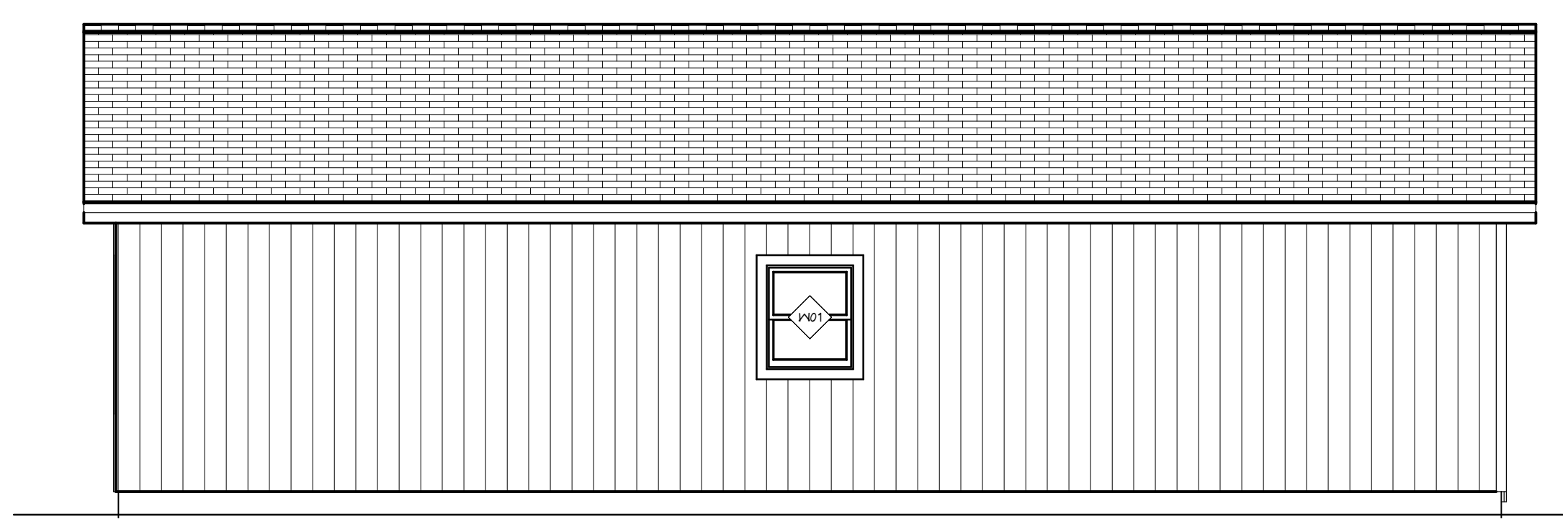
**E2** EAST ELEVATION  
**A.102** SCALE 1/4"=1'

WINDOW SCHEDULE						
NUMBER	QTY	LABEL	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	3	2630SH	30"	36"	SINGLE HUNG	
W02	3	3040SH	36"	48"	SINGLE HUNG	

DOOR SCHEDULE						
NUMBER	QTY	LABEL	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	1	16070	192"	84"	GARAGE-GARAGE DOOR P02	
D02	1	3068	36"	80"	EXT. HINGED-SLAB	



**E3** RIGHT SIDE ELEVATION  
**A.102** SCALE 1/4"=1'



**E4** LEFT SIDE ELEVATION  
**A.102** SCALE 1/4"=1'

**TDG**

SERVICES

RESIDENTIAL  
COMMERCIAL  
PLANS

8000 US 380 S#100,  
Crossroads, TX, 76277  
P: 469-879-6130 |  
www.thedrafterguy.com

REV	DESCRIPTION	DATE

PROJECT NAME

**DETACHED GARAGE**

ADDRESS

**3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034**

OWNER/CLIENT/TENANT

**JOHN CULLEN**

SHEET TITLE

**MASTER PLAN**

PREPARED BY | CHECKED BY

**G. S. | G. S.**

DATE

**4/29/2026**

SCALE | SHEET SIZE

**1/4"=1' | 24"X36"**

SHEET NUMBER | © 2025




**A.102**

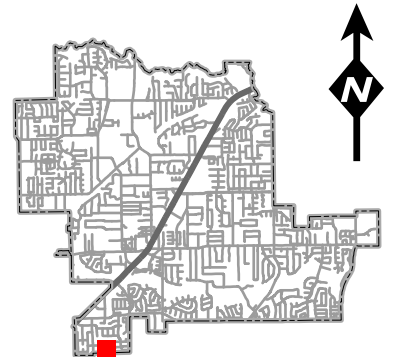
# Notification Map



## ZC26-013

3505 Blue Quail Lane

-  Subject Property
-  Buffer
-  Parcels to be notified



**DISCLAIMER:**  
This map and information contained in it were developed exclusively for use by the City of Colleyville. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of Colleyville, its officials or employees for any discrepancies, errors, or variances which may exist.



## NOTICE OF PUBLIC HEARING

«Owner Name»

«Owner Address»

«Owner City» «Owner Zip»

The City of Colleyville has scheduled public hearings concerning the below referenced request on the following dates and location:

**Planning & Zoning Commission Meeting: Monday, June 8, 2026, at 7:00 p.m.**  
**City Council Meetings: Tuesday, July 7, 2026 & Tuesday, July 21, 2026, at 7:00 p.m.**  
**3rd floor of City Hall, 100 Main Street, Colleyville, Texas**

**Request:** Consideration of a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, located at 3505 Blue Quail Lane, Case ZC26-013. The request is to allow for an accessory structure that does not conform to Land Development Code, Section 3.27(A)(2)(a). Accessory structures cannot exceed 4% of the aggregate lot area, which is a maximum of 644 square feet on this lot. The proposed structure is 880 square feet (5.46%).

**Zoning Case:** ZC26-013

**Applicant/Owner:** John Cullen

**Location:** 3505 Blue Quail Lane

**Property Description:** Lot 7, Block 3, Quail Crest Estates

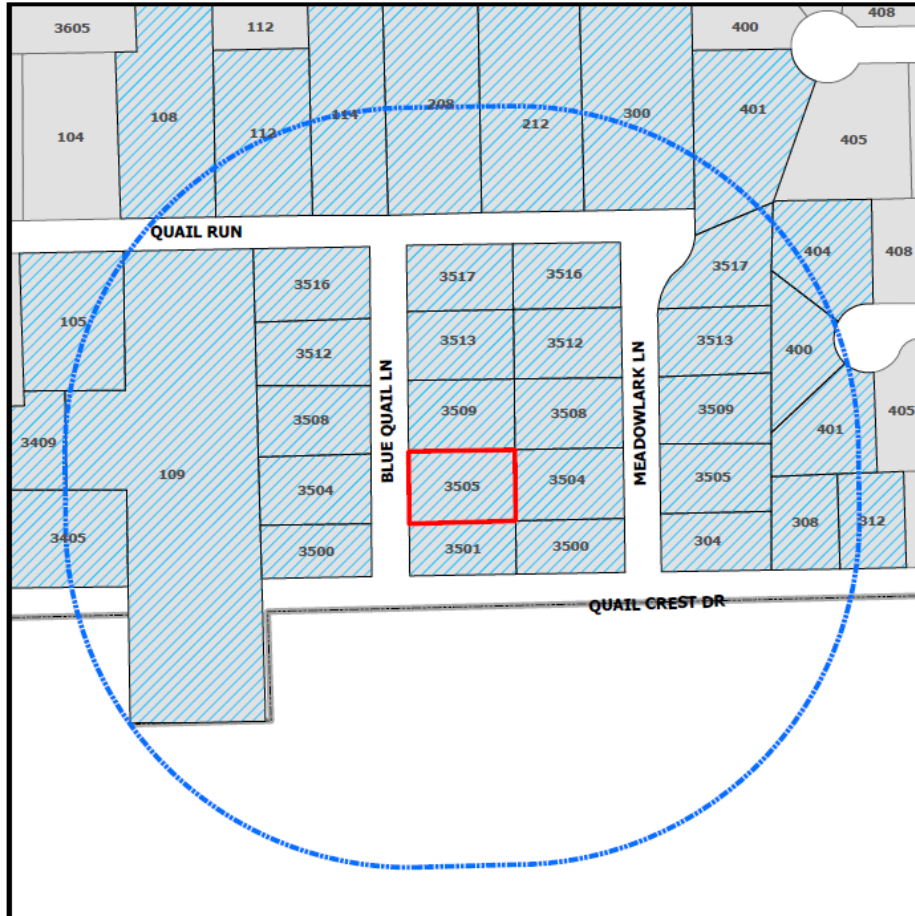
**Present Zoning:** R-15 Single Family Residential

This notice has been sent to all owners of real property within 500 feet of the request as such ownership appears on the last approved tax roll and all homeowners' associations within 1000 feet. Approval by the Planning and Zoning Commission serves as a recommendation to the City Council and is not a final action on the request. Denial of the proposal by the Commission is final, unless the applicant submits a written notice of appeal within 10 days from the date of action by the Commission. If appealed, the request will be placed on the next available City Council agenda as listed above. Rezoning requests, zoning amendments and conditions recommended by the Commission for approval by the City Council may be more restrictive than those described in this notice.

All interested persons are encouraged to attend the public hearing and express their opinions on the zoning change request. If you are unable to attend, but wish to have your opinions made a part of the public record, please submit written comments prior to the public hearing, to the address or email below:

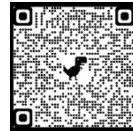
**Community Development Department**  
**City of Colleyville**  
**100 Main Street**  
**Colleyville, TX 76034**  
[Citizenletters@colleyville.com](mailto:Citizenletters@colleyville.com)

## NOTICE OF PUBLIC HEARING



If the property owners of 20% or more of the land within the 200-foot notification area file a written protest prior to the public hearing, State law provides that the approval of the zoning change request shall require the approval of a super majority vote by City Council.

The application is on file for public examination in the Community Development Department at 100 Main Street, Colleyville, Texas 76034. A brief project description can be found online on the Agenda Packet and Active Development Case map (please use your phone's camera to scan QR code below):



For additional information, please contact the Community Development Department at 817.503.1050. Please reference the zoning case number when requesting information.

*Daniel Ponder*

Daniel Ponder  
Planning Manager

**ORDINANCE O-26-2374**

**AMENDING THE ZONING ORDINANCE AND THE OFFICIAL ZONING MAP OF THE CITY OF COLLEYVILLE, TEXAS, BY CHANGING THE ZONING ON APPROXIMATELY 0.37 ACRES, BEING LOT 7, BLOCK 3, QUAIL CREST ESTATES, LOCATED AT 3505 BLUE QUAIL LANE, BY AUTHORIZING A SPECIAL USE PERMIT TO ALLOW FOR AN ACCESSORY BUILDING; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS,** the City of Colleyville has received an application for a Special Use Permit to allow for an accessory building (Case ZC26-013); and

**WHEREAS,** the Subject Property is presently zoned R-15 Single-Family Residential; and

**WHEREAS,** the Planning and Zoning Commission of the City of Colleyville, has considered and made recommendations on the request, having given the requisite notices, and having held due hearings and affording a full and fair opportunity for all persons interested in the matter to be heard; and

**WHEREAS,** after due deliberations and consideration of the recommendation of the Planning and Zoning Commission, the information received at a public hearing, and other relevant information and materials, the City Council finds that this amendment is in conformance with the Comprehensive Plan for the City of Colleyville and promotes the general health, safety, and welfare of this community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF COLLEYVILLE, TEXAS:**

- Sec. 1. THAT the Comprehensive Zoning Ordinance of the City of Colleyville, Texas, be, and the same is hereby amended by authorizing a Special Use Permit for an accessory building on 0.37 acres, being Lot 7, Block 3, Quail Crest Estates, located at 3505 Blue Quail Lane, as depicted on the attached as Exhibit "A".
- Sec. 2. THAT the above-described tract of land shall be used only in the manner and for the purposes provided by the

Comprehensive Zoning Ordinance of the City of Colleyville as heretofore amended, and as amended herein.

Sec. 3. THAT the above-described tract of land shall be subject to the following conditions:

**1. GENERAL**

- a. The Special Use Permit shall allow an accessory building, as depicted in Exhibit "B".
- b. It shall be generally consistent with the site plan and elevations, as depicted in Exhibit "B".
- c. All requirements of the Land Development Code shall be met, except where amended herein.

Sec. 4. THAT any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Colleyville, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense.

Sec. 5. THAT if any section, paragraph, subdivision, clause, phrase or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

Sec. 6. THAT in addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

Sec. 7. THAT this ordinance shall take effect immediately from and after its passage subject to the publication of the caption, as the law or charter in such cases may provide.

**AND IT IS SO ORDERED.**

The first reading and public hearing being conducted on the 7<sup>th</sup> day of July 2026.

The second reading and public hearing being conducted on the 21<sup>st</sup> day of July 2026.

APPROVED BY A VOTE OF \_\_\_ AYES, AND \_\_\_ NAYS, ON THIS THE 21<sup>ST</sup> DAY OF JULY 2026.

Mayor Bobby Lindamood	_____	Mark Alphonso, Place 2	_____
Mayor Pro Tem Brandi Elder	_____	Ben Graves, Place 4	_____
Deputy Mayor Pro Tem Scotty Richardson	_____	Tim Raine, Place 6	_____
Kimberly Holt Gunderson, Place 5	_____		

**ATTEST:**

**CITY OF COLLEYVILLE**

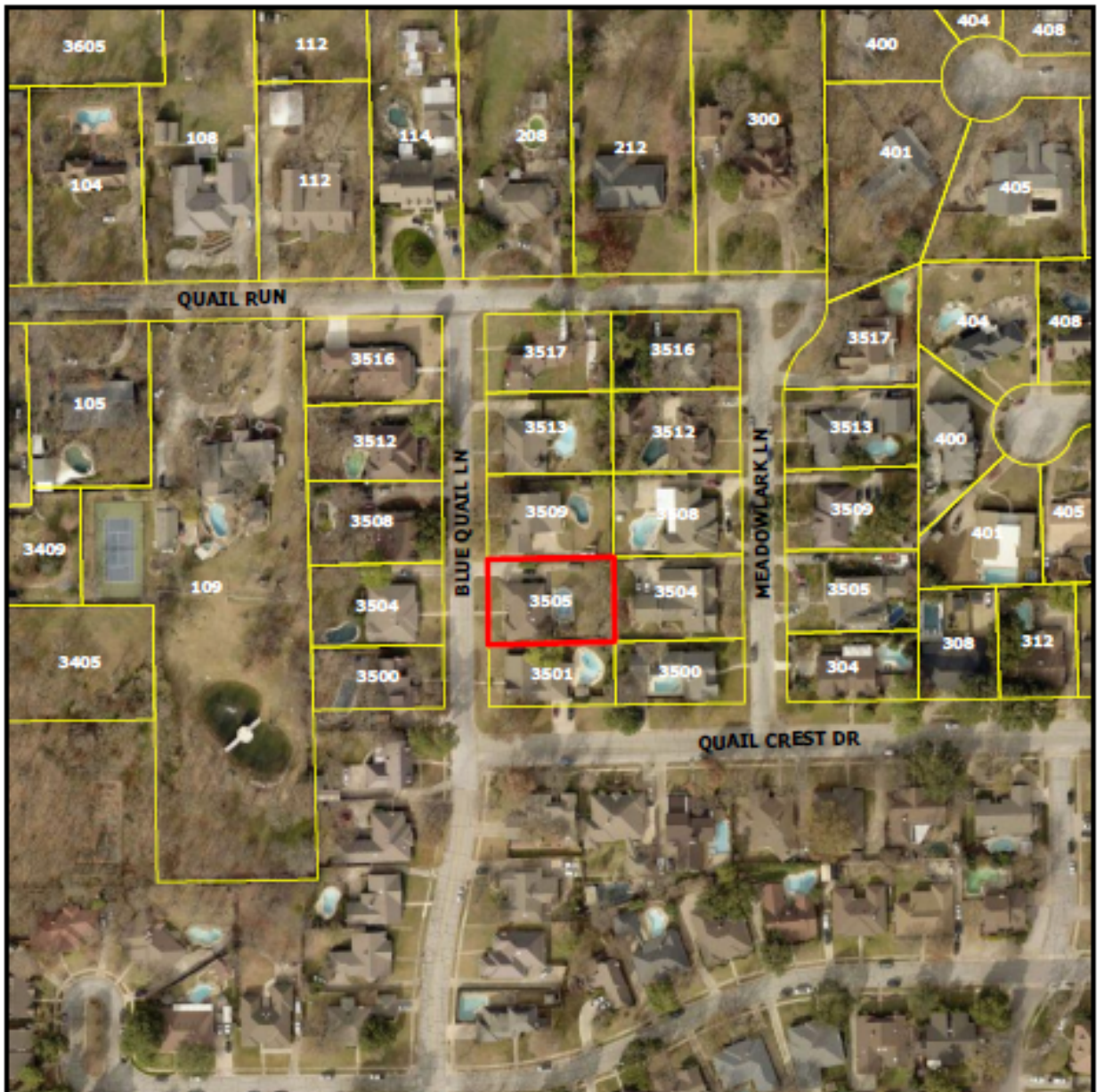
Christine Loven, TRMC  
City Secretary

Bobby Lindamood  
Mayor

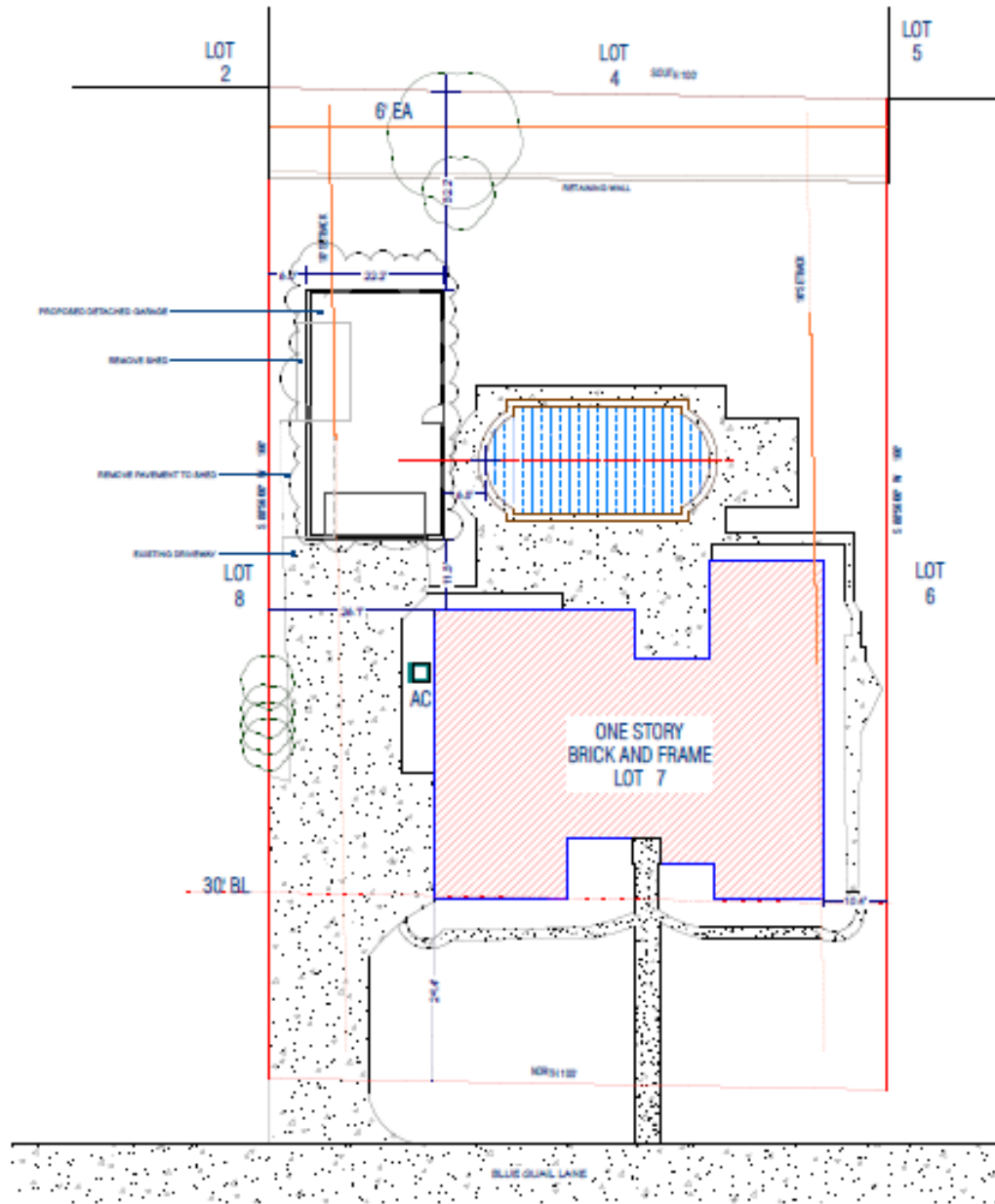
**APPROVED AS TO FORM:**

Whitt Wyatt  
City Attorney

# Exhibit "A" - Aerial Map



# Exhibit "B" – Site Plan & Elevations



91  
ACT

SITE PLAN

SCALE: 1"=10'



**RESOLUTION R-26-5161**

**A RESOLUTION APPROVING CITY COUNCIL ACTION UNDER  
BUSINESS AT THE REGULAR CITY COUNCIL MEETING OF  
JULY 7, 2026**

**WHEREAS,** City Council has taken action on certain items on the agenda under Business.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF COLLEYVILLE, TEXAS:**

Sec. 1. THAT

**AND IT IS SO RESOLVED.**

APPROVED BY A VOTE OF \_ AYES, \_ NAYS, ON THIS THE 7<sup>TH</sup> DAY OF JULY 2026.

Mayor Bobby Lindamood	_____	Mark Alphonso, Place 2	_____
Mayor Pro Tem Brandi Elder	_____	Ben Graves, Place 4	_____
Deputy Mayor Pro Tem Scotty Richardson	_____	Tim Raine, Place 6	_____
Kimberly Holt Gunderson, Place 5	_____		

**ATTEST:**

**CITY OF COLLEYVILLE**

Christine Loven  
City Secretary, TRMC

Bobby Lindamood  
Mayor