



**CITY OF COLLEYVILLE  
PLANNING AND ZONING  
COMMISSION WORKSESSION  
AGENDA**

100 Main Street, Colleyville, Texas, 76034

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**TUESDAY, MAY 26, 2026**

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**EXECUTIVE CONFERENCE ROOM - THIRD FLOOR  
6:15 P.M.**

**1. CALL TO ORDER**

**2. PRESENTATION AND DISCUSSION**

- 2a** Presentation and discussion of a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, zoned R-15 Single-Family Residential, located at 3505 Blue Quail Lane, Case ZC26-013
- 2b** Presentation and discussion of a Special Use Permit for a carport on Lot 1R, Block 1, Walker Addition, zoned R-40 Single-Family Residential, located at 5301 Montclair Drive, Case ZC26-014

**3. ADJOURNMENT**

I hereby certify this agenda was posted on City Hall bulletin boards *Wednesday, May 20, 2026*, by 5:00 p.m.

Daniel Ponder  
Planning Manager

A quorum of any Colleyville board, commission, or committee may be present at this meeting. Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the City Secretary at least 48 hours in advance at 817.503.1133, and reasonable accommodations will be made to assist you.



# CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

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**Agenda Number -**

**Agenda Date** 5/26/2026

**Type** Presentation and Discussion

**Department** Community Development

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## **Title**

Presentation and discussion of a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, zoned R-15 Single-Family Residential, located at 3505 Blue Quail Lane, Case ZC26-013

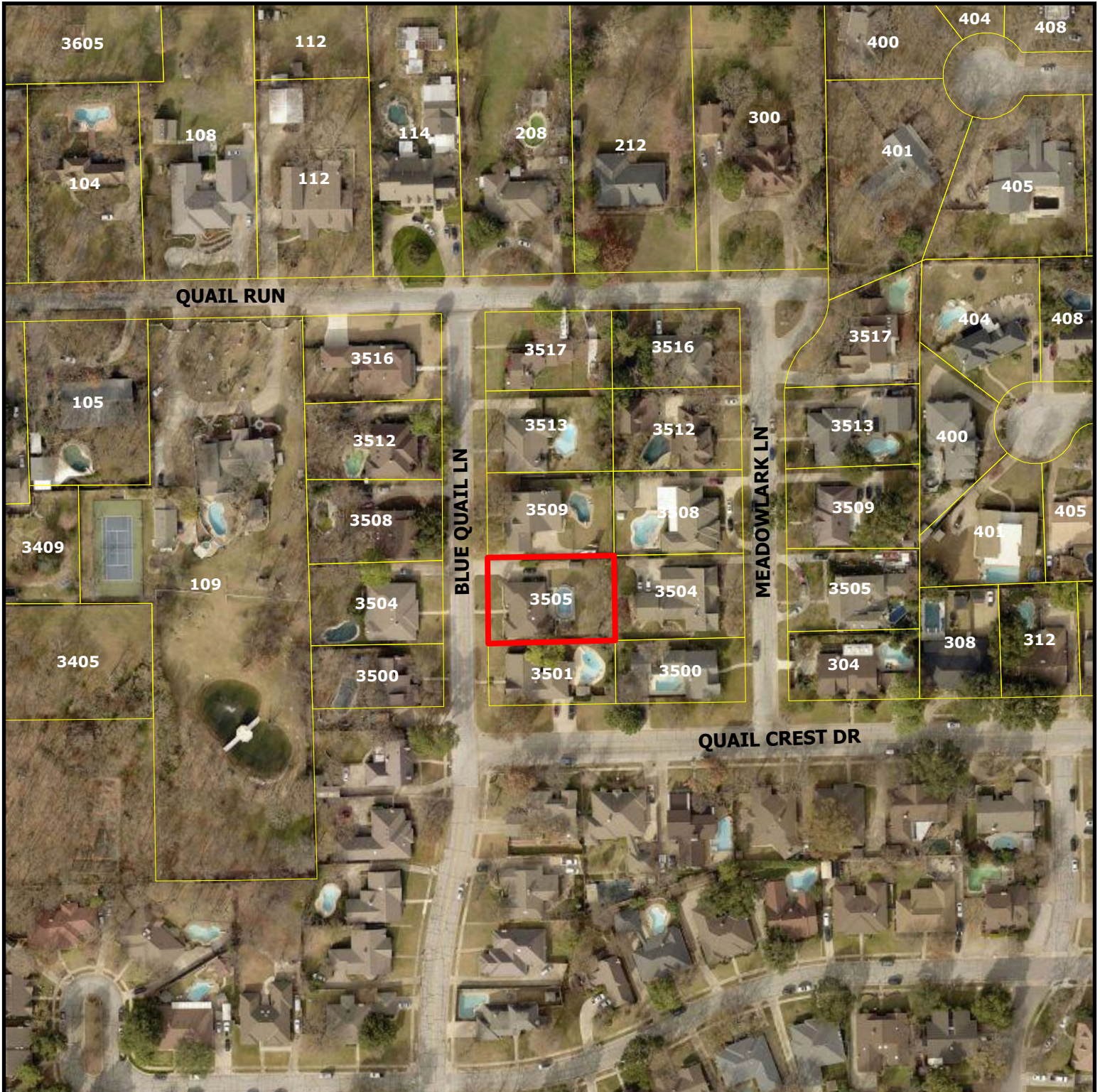
## **Explanation**

John Cullen, the applicant, has submitted a request for a Special Use Permit for an accessory building on Lot 7, Block 3, Quail Crest Estates, being approximately 0.37 acres, and zoned R-15 Single-Family Residential. The request is to allow for an accessory structure that does not conform to Land Development Code, Section 3.27(A)(2)(a). The proposed structure is 880 square feet (5.46% of the lot area).

## **Attachments**

1. Aerial Map
2. Future Land Use Map
3. Zoning Map
4. Site Plan
5. Elevations

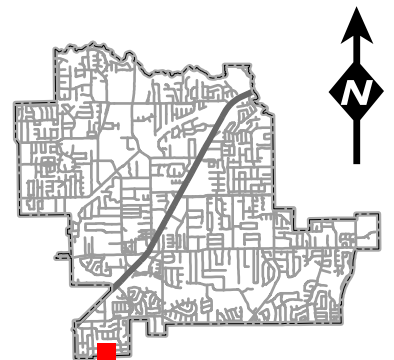
# Aerial Map



## ZC26-013

3505 Blue Quail Lane

 Subject Property



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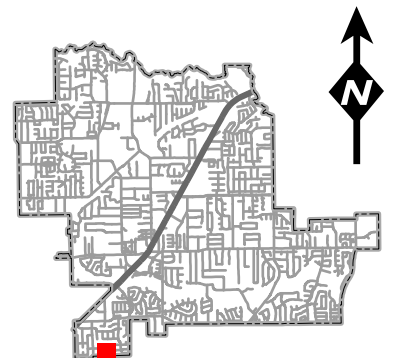
# Future Land Use Map



## ZC26-013

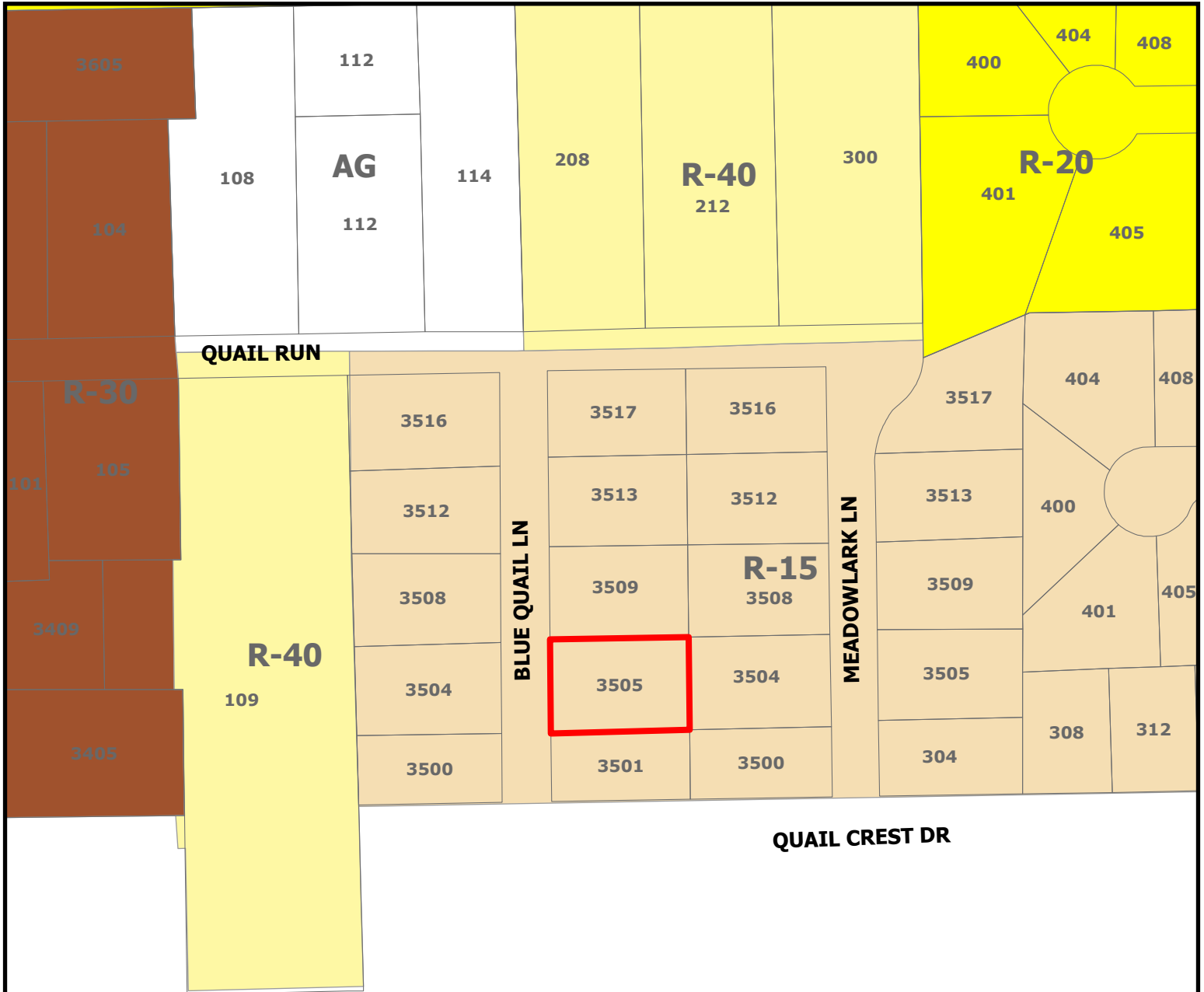
3505 Blue Quail Lane

- Residential
- Subject Property



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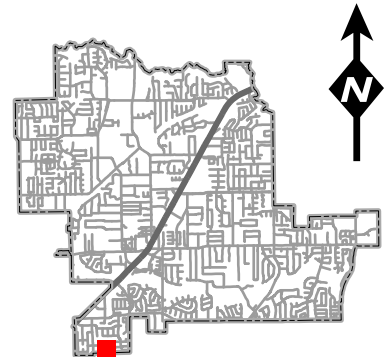
# Zoning Map



## ZC26-013

3505 Blue Quail Lane

 Subject Property



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# DETACHED GARAGE AT 3505 BLUE QUAIL, COLLEYVILLE, TX,



REV	DESCRIPTION	DATE

PROJECT NAME

## DETACHED GARAGE

ADDRESS

**3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034**

OWNER/CLIENT/TENANT

**JOHN CULLEN**

SHEET TITLE

## COVER PAGE

PREPARED BY | CHECKED BY

**G. S.** | **G. S.**

DATE

**4/29/2026**

SCALE | SHEET SIZE

**1/4"=1'** | **24"X36"**

SHEET NUMBER: | © 2025

### GENERAL NOTES:

1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, LOCAL, AND STATE CODES AND AMENDMENTS
3. -
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
5. ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, IMMEDIATELY.
6. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER AND ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
9. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
10. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
11. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
12. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED TO MAINTAIN CLEAN AND SAFE PROJECT.
13. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
14. -
15. THE OWNER SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
16. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ARCHITECT, OR OWNER, ARCHITECT AND ENGINEER.
17. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING AND CORRECT STUD SPACING.
18. THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, OPENINGS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE STARTING ANY CONSTRUCTION RELATED TO SAID WORK AND/OR EQUIPMENT.
19. ALL MATERIALS SHALL BE NEW AND OF PREFERRED DOMESTIC MANUFACTURE AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR RECOMMENDATIONS UNLESS INDICATED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. ANY CONFLICT FOUND BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE DRAWINGS OR SPECIFICATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO INSTALLATION.



**ACTUAL**

CODE SUMMARY  
APPLICABLE CODES IN EFFECT FOR CITY OF COLLEYVILLE, TX

ADOPTED CODE  
2024 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2024 INTERNATIONAL MECHANICAL CODE (IMC)  
2024 INTERNATIONAL PLUMBING CODE (IPC)  
2023 NATIONAL ELECTRICAL CODE (NEC)  
2024 INTERNATIONAL FIRE CODE

**PROJECT DATA**

SCOPE OF WORK:  
1- DETACHED GARAGE

OWNER: JOHN CULLEN

PROJECT ADDRESS: 3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034

LEGAL ADDRESS: QUAIL CREST ESTATES, LOT 7

EXISTING LIVING SPACE: 2,368 SQ FT

PROPOSED DETACHED GARAGE: 880 SQ FT

LAND: 0.37 ACRES

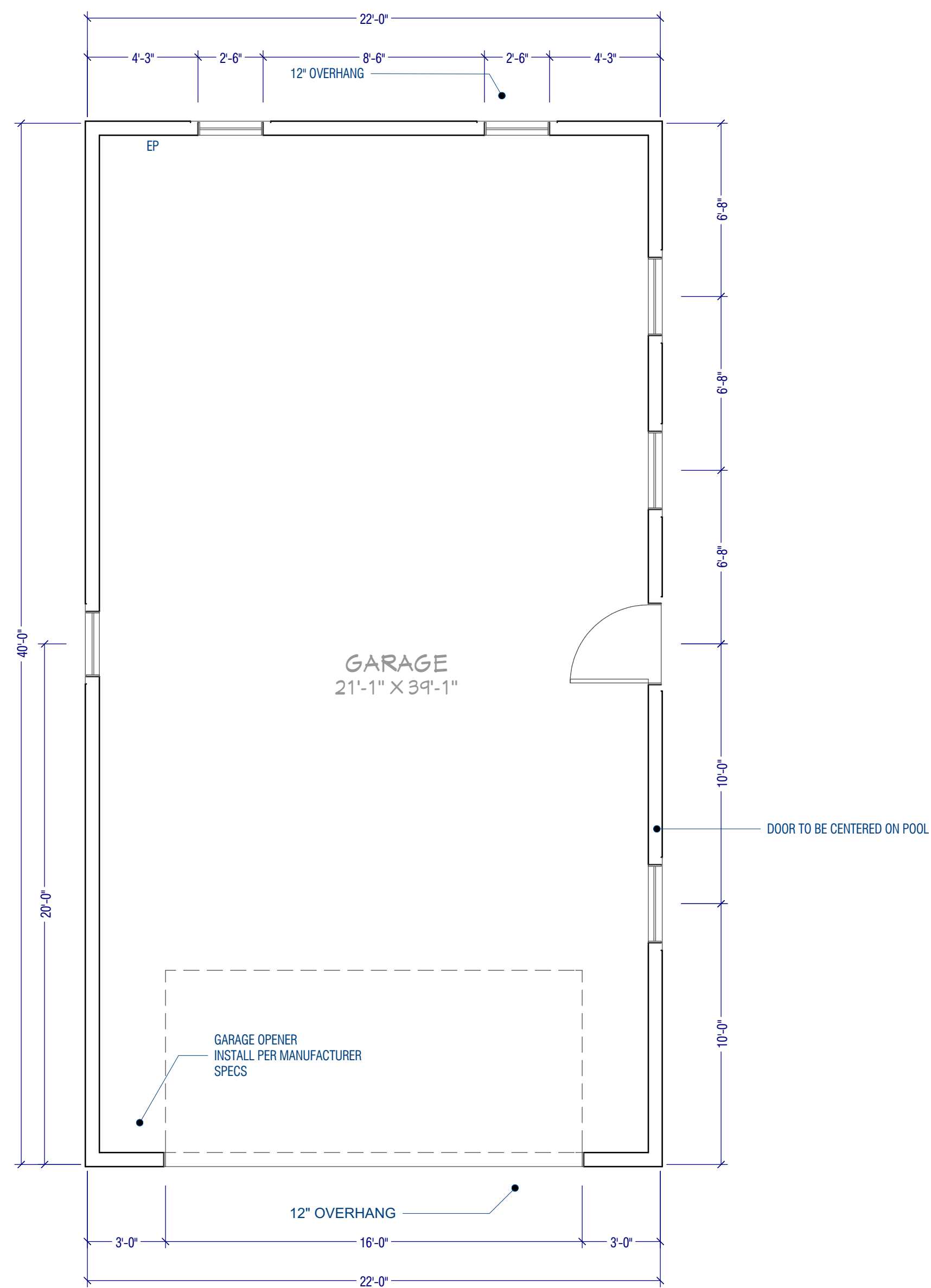
**ABBREVIATIONS LEGEND**

ABV	– ABOVE LIV – LIVING ROOM
ADJ	– ADJACENT LIV – LAMINATED VENEER LUMBER
AFF	– ABOVE FINISHED FLOOR MAX – MAXIMUM
ALT	– ALTERNATE MECH – MECHANICAL
APPROX	– APPROXIMATELY MIN – MINIMUM
AS-BLT	– AS BUILT NIC – NOT IN CONTRACT
CL	– CENTERLINE NOS – NOSING
CLR	– CLEAR / CLEARANCE NTS – NOT TO SCALE
CMU	– CONCRETE MASONRY UNIT OC – ON CENTER
CONC	– CONCRETE OPNG – OPENING
CQNT	– CONTINUOUS PAN – PANTRY
DBL	– DOUBLE PL – PROPERTY LINE
DIM	– DIMENSION PT – PRESSURE TREATED
DN	– DOWN REQ'D – REQUIRED
DW	– DRYWALL RO – ROUGH OPENING
EQ	– EQUAL ROOF – ROOF
EXIST	– EXISTING SD – STORM DRAIN / SLIDING DOOR
FF	– FINISHED FLOOR SOG – SLAB ON GRADE
FFE	– FINISHED FLOOR ELEVATION STOR – STORAGE
FLR	– FLOOR T&G – TONGUE AND GROOVE
FUT	– FUTURE TOS – TOP OF SLAB
GWB	– GYPSUM WALL BOARD TOB – TOP OF BEAM
HDR	– HEADER TOP – TOP OF PLATE
HT	– HEIGHT TOW – TOP OF WALL
HVAC	– HEATING, VENTILATION & AC TYP – TYPICAL
INFO	– INFORMATION UNO – UNLESS NOTED OTHERWISE
KIT	– KITCHEN VAR – VARIES
LAV	– LAVATORY VB – VAPOR BARRIER
WC	– WATER CLOSET
WD	– WOOD
WIC	– WALK-IN CLOSET

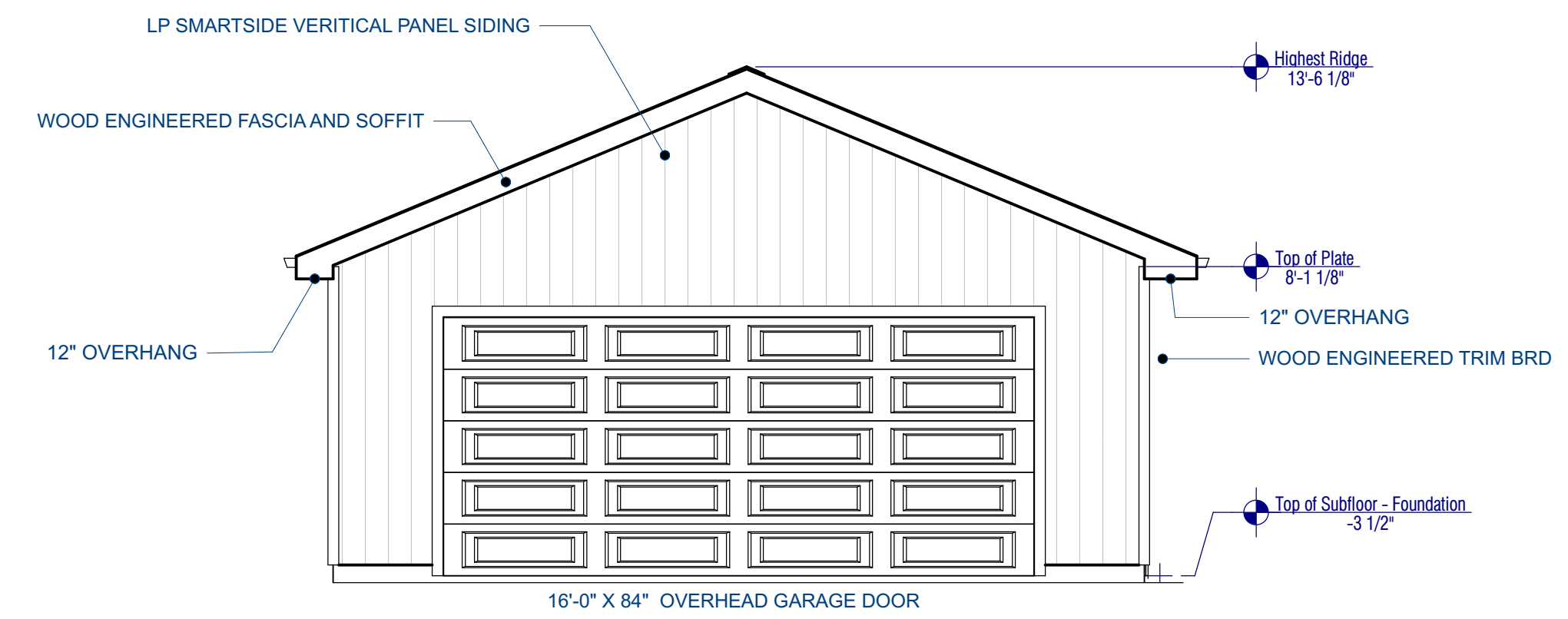


DIMENSIONS FROM FACE OF FRAME TO FACE TO FRAME; UNLESS SPECIFIED OTHERWISE

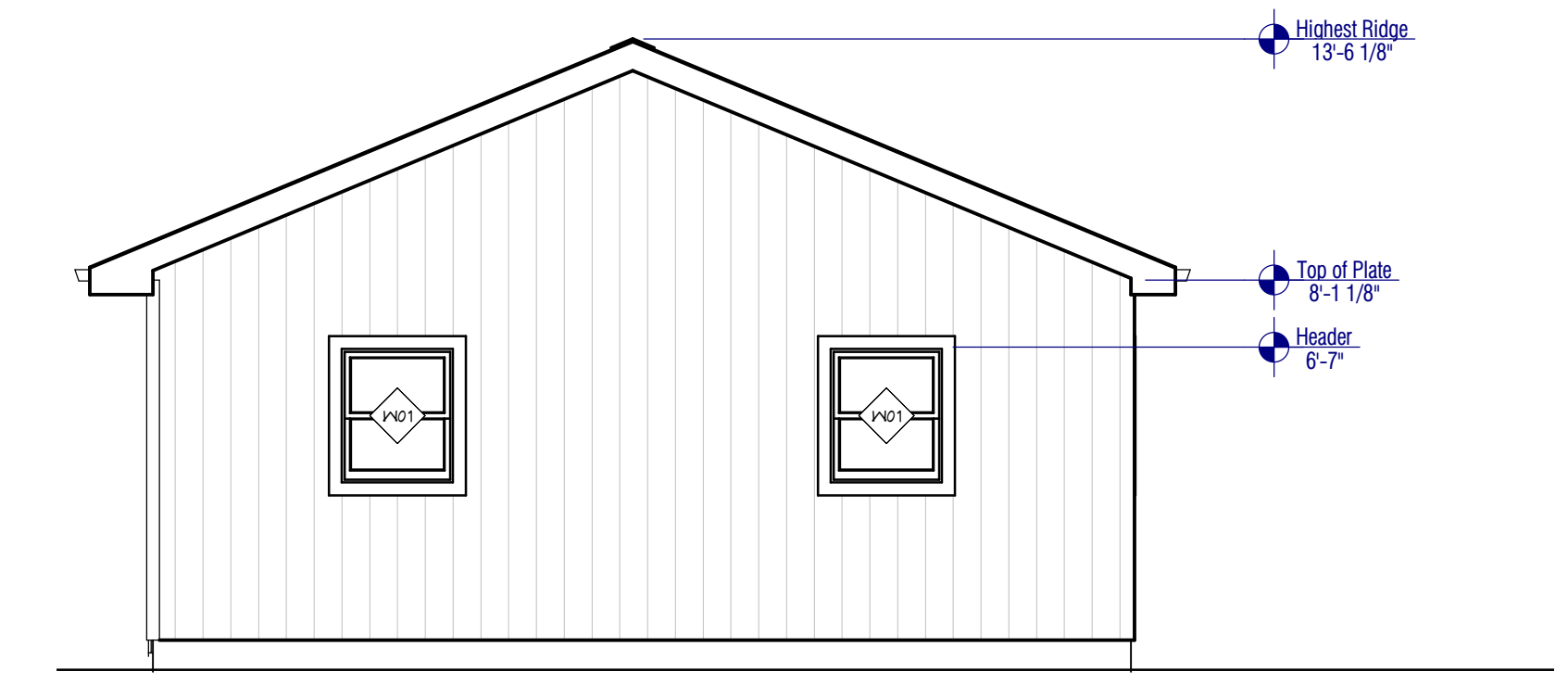
- DETACHED ACCESSORY GARAGE NOTES
- DETACHED ACCESSORY GARAGE SERVING EXISTING RESIDENCE.
  - NON-CONDITIONED STRUCTURE FOR PARKING AND STORAGE ONLY.
  - BUILDING AREA 880 SQUARE FEET (22' X 40').
  - INSTALL MATERIALS PER MANUFACTURER INSTRUCTIONS.
  - PROVIDE WEATHER-RESISTIVE BARRIER BEHIND EXTERIOR SIDING.
  - WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
  - USE
  - STRUCTURE SHALL NOT BE USED AS DWELLING OR HABITABLE SPACE.
  - FRAMING
  - EXTERIOR WALLS 2X6 STUDS @ 16" O.C., DOUBLE TOP PLATE.
  - HEADERS PER IRC TABLE R602.7 OR ENGINEERED DESIGN.
  - PROVIDE APPROVED CONNECTORS AND ANCHORS.
  - ANCHOR BOLTS 1/2" DIA. @ 6'-0" O.C. MAX AND WITHIN 12" OF ENDS.
  - PROVIDE REQUIRED BLOCKING AT BEARING POINTS.
  - ROOF
  - 12" EAVES TYPICAL.
  - MINIMUM 7/16" ROOF SHEATHING, PROVIDE DRIP EDGE AT EAVES AND RAKES.
  - ATTIC VENTILATION PER IRC, ASPHALT SHINGLES OR APPROVED EQUIVALENT.
  - EXTERIOR FINISH
  - LP SMARTSIDE SIDING OR APPROVED EQUAL. FLASH ALL OPENINGS AND PENETRATIONS.
  - CORROSION RESISTANT FASTENERS AND TRIM.
  - INTERIOR
  - INTERIOR UNFINISHED.
  - NO DRYWALL OR INSULATION.
  - FOUNDATION
  - CONCRETE FOUNDATION PER APPROVED FOUNDATION PLAN.
  - MINIMUM 3,000 PSI CONCRETE.
  - PROVIDE ANCHOR BOLTS AS NOTED.
  - CONTROL JOINTS AT 10'-0" MAX SPACING.
  - ELECTRICAL (2023 NEC)
  - GENERAL
  - PROVIDE 120V 20-AMP RECEPTACLE CIRCUIT. ALL 125-250V RECEPTACLES GFCI PROTECTED.
  - SUBPANEL: PROVIDE 4-WIRE FEEDER (H-I-N-G).
  - EQUIPMENT GROUNDING CONDUCTOR REQUIRED. NEUTRAL ISOLATED FROM GROUND IN SUBPANEL.
  - PROVIDE GROUNDING ELECTRODE SYSTEM: TWO GROUND RODS MIN. 6'-0" APART UNLESS = 25 OHMS.
  - GROUNDING ELECTRODE CONDUCTOR SIZED PER NEC.
  - PROVIDE DISCONNECT AT STRUCTURE (MAIN BREAKER ACCEPTABLE), BOND ALL METAL BOXES AND EQUIPMENT.



**01** FLOOR PLAN  
**A.102** SCALE 1/4"=1'



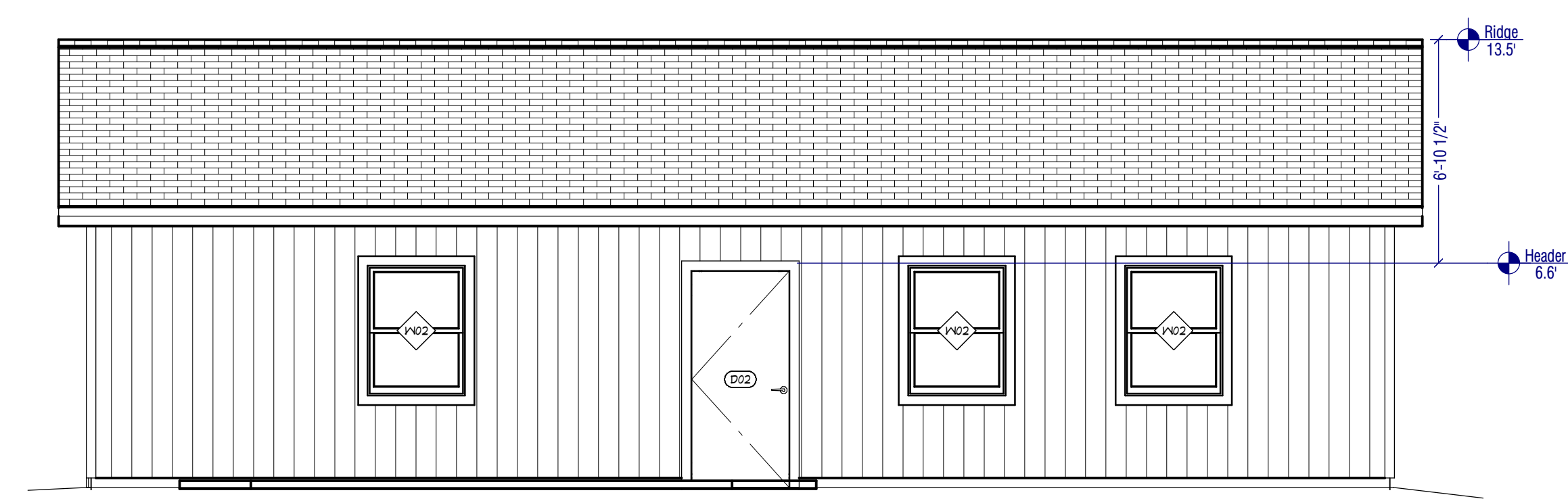
**E1** WEST ELEVATION  
**A.102** SCALE 1/4"=1'



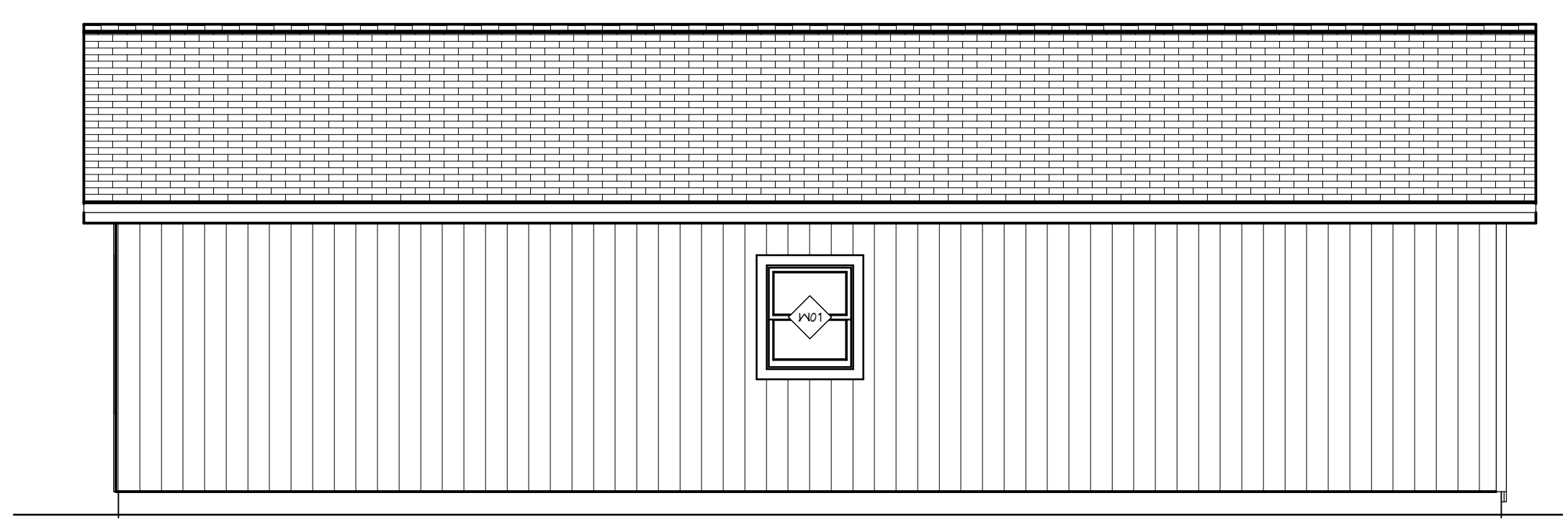
**E2** EAST ELEVATION  
**A.102** SCALE 1/4"=1'

WINDOW SCHEDULE						
NUMBER	QTY	LABEL	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	3	2630SH	30"	36"	SINGLE HUNG	
W02	3	3040SH	36"	48"	SINGLE HUNG	

DOOR SCHEDULE						
NUMBER	QTY	LABEL	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	1	16070	192"	84"	GARAGE-GARAGE DOOR P02	
D02	1	3068	36"	80"	EXT. HINGED-SLAB	



**E3** RIGHT SIDE ELEVATION  
**A.102** SCALE 1/4"=1'



**E4** LEFT SIDE ELEVATION  
**A.102** SCALE 1/4"=1'

**TDG**

SERVICES

RESIDENTIAL  
COMMERCIAL  
PLANS

8000 US 380 S#100,  
Crossroads, TX, 76277  
P: 469-879-6130 |  
www.thedrafterguy.com

REV	DESCRIPTION	DATE

PROJECT NAME

**DETACHED GARAGE**

ADDRESS

**3505 BLUE QUAIL LN, COLLEYVILLE, TX, 76034**

OWNER/CLIENT/TENANT

**JOHN CULLEN**

SHEET TITLE

**MASTER PLAN**

PREPARED BY | CHECKED BY

**G. S.** | **G. S.**

DATE

**4/29/2026**

SCALE | SHEET SIZE

**1/4"=1'** | **24"X36"**

SHEET NUMBER | © 2025

**A.102**



# CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

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**Agenda Number -**

**Agenda Date** 5/26/2026

**Type** Presentation and Discussion

**Department** Community Development

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## **Title**

Presentation and discussion of a Special Use Permit for a carport on Lot 1R, Block 1, Walker Addition, zoned R-40 Single-Family Residential, located at 5301 Montclair Drive, Case ZC26-014

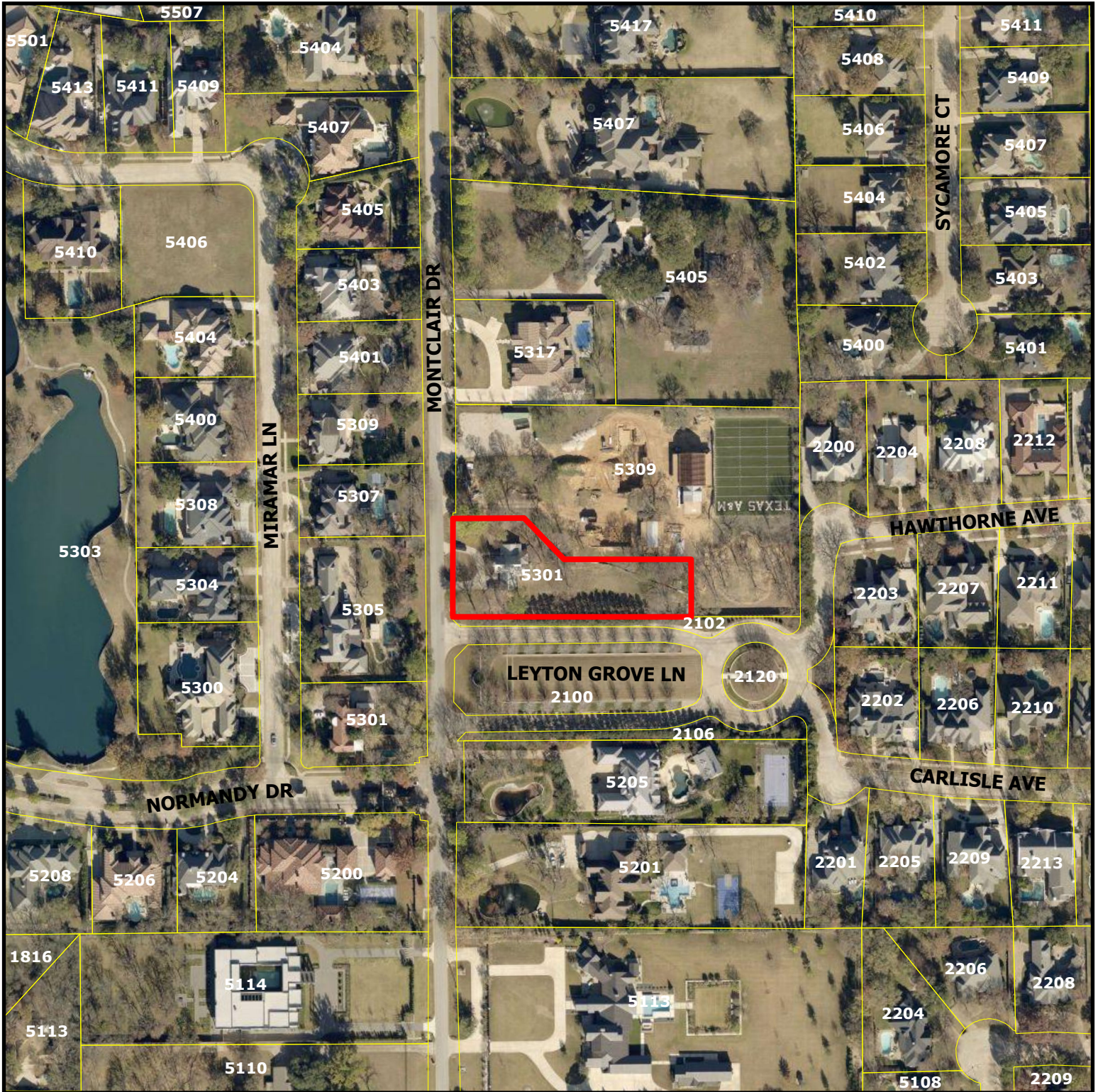
## **Explanation**

JP Construction, the applicant, has submitted a request for a Special Use Permit for a carport on Lot 1R, Block 1, Walker Addition, being approximately 0.94 acres, and zoned R-40 Single-Family Residential. The request is to allow for a carport that does not conform to the Land Development Code, Section 3.27(C). The proposed structure is 566 square feet (1.39% of the lot area).

## **Attachments**

1. Aerial Map
2. Future Land Use Map
3. Zoning Map
4. Site Plan Exhibit
5. Grading and Drainage Exhibit
6. Elevations Exhibit
7. Carport Renderings

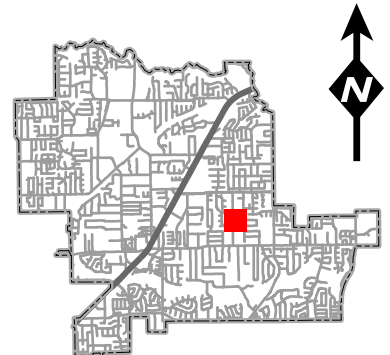
# Aerial Map



## ZC26-014

5301 Montclair Drive

 Subject Property



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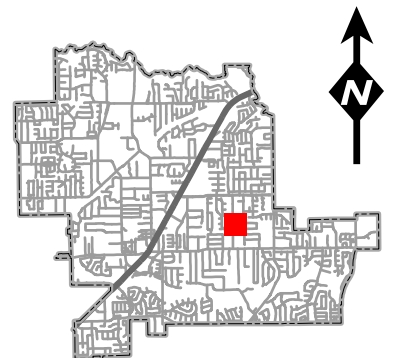
# Future Land Use Map



## ZC26-014

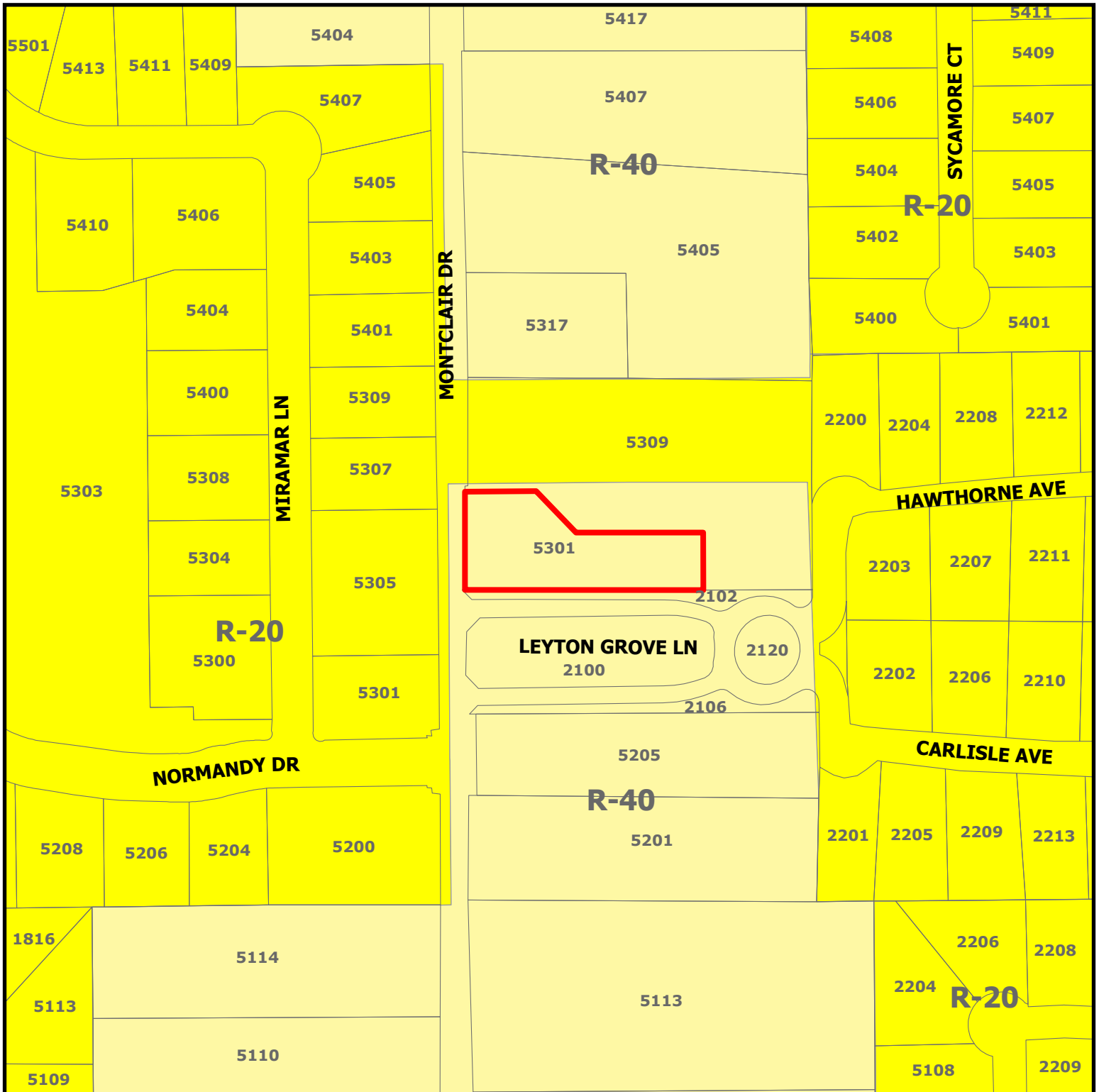
5301 Montclair Drive

- Residential
- Open Space; Parks
- Water Body
- Subject Property



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# Zoning Map



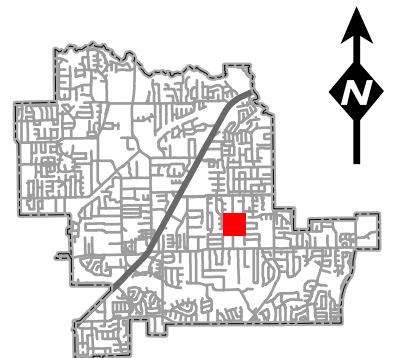
**ZC26-014**

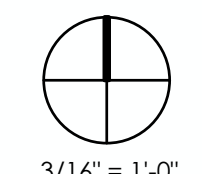
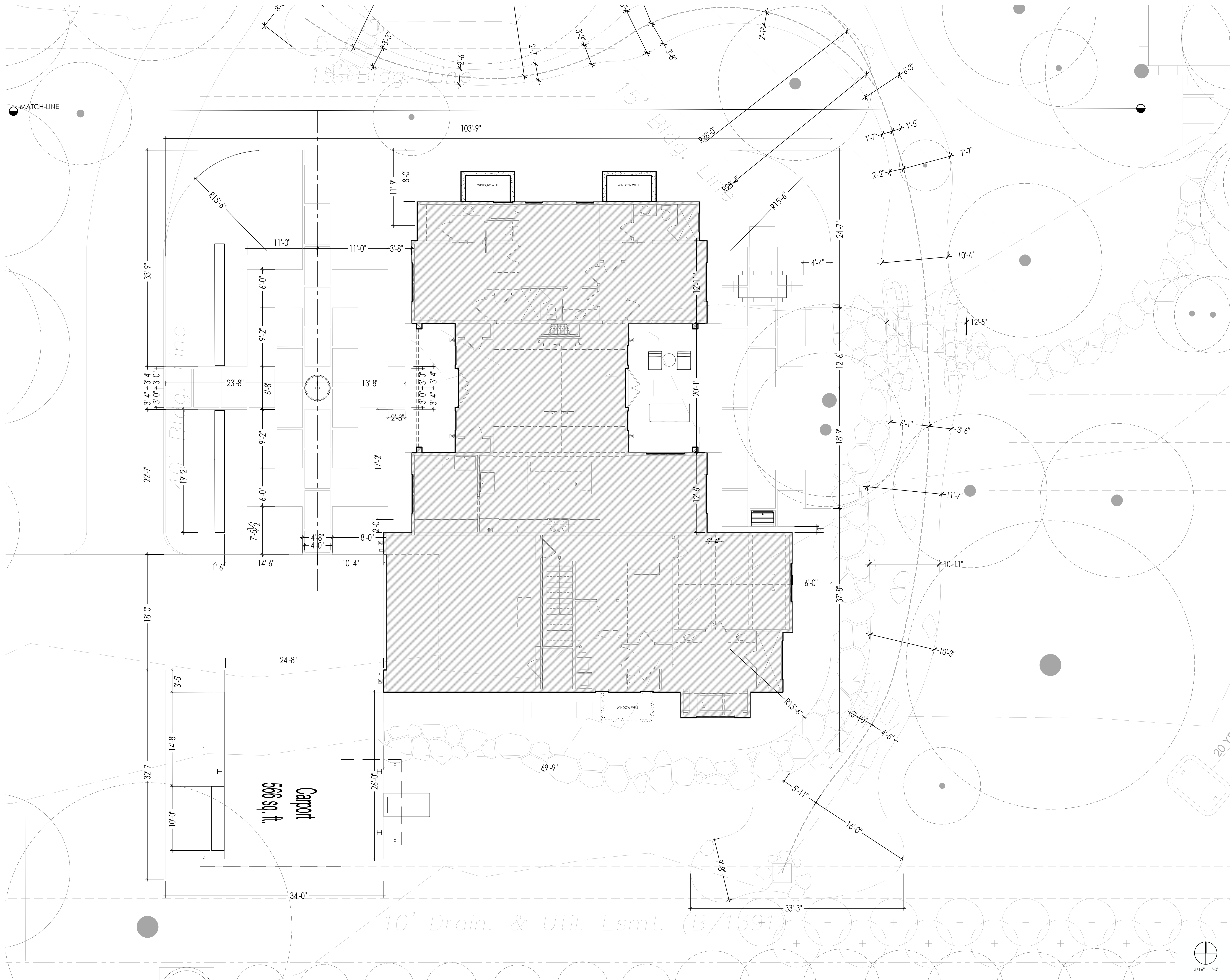
5301 Montclair Drive



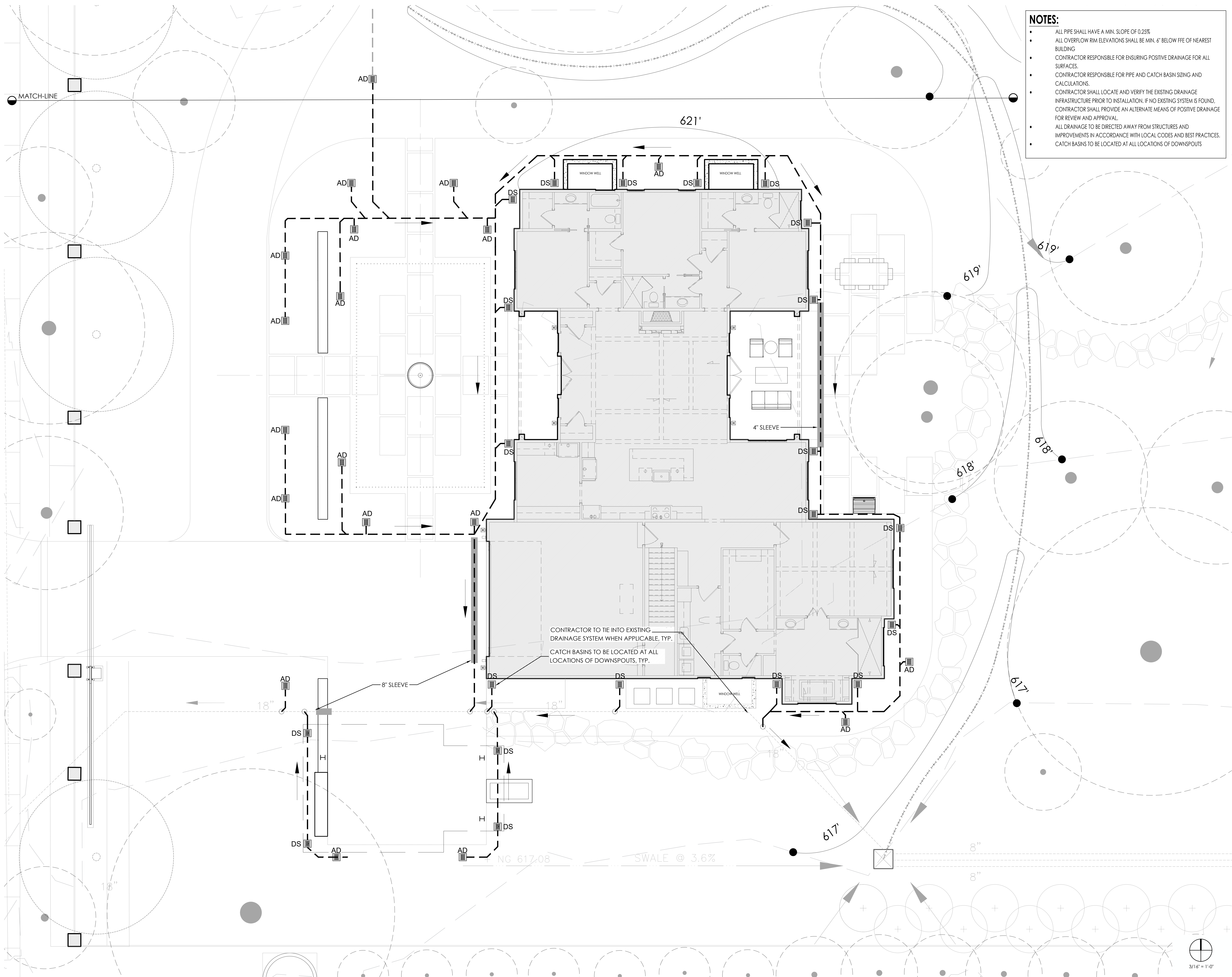
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 Subject Property





3/16" = 1'-0"



- NOTES:**
- ALL PIPE SHALL HAVE A MIN. SLOPE OF 0.25%
  - ALL OVERFLOW RIM ELEVATIONS SHALL BE MIN. 6" BELOW FFE OF NEAREST BUILDING
  - CONTRACTOR RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE FOR ALL SURFACES.
  - CONTRACTOR RESPONSIBLE FOR PIPE AND CATCH BASIN SIZING AND CALCULATIONS.
  - CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTING DRAINAGE INFRASTRUCTURE PRIOR TO INSTALLATION. IF NO EXISTING SYSTEM IS FOUND, CONTRACTOR SHALL PROVIDE AN ALTERNATE MEANS OF POSITIVE DRAINAGE FOR REVIEW AND APPROVAL.
  - ALL DRAINAGE TO BE DIRECTED AWAY FROM STRUCTURES AND IMPROVEMENTS IN ACCORDANCE WITH LOCAL CODES AND BEST PRACTICES.
  - CATCH BASINS TO BE LOCATED AT ALL LOCATIONS OF DOWNSPOUTS

© STOKER HOESTERY MONTENEGRO, PLLC, 2023  
 These documents have been prepared specifically for the Powers Residence. They are not suitable for use on other projects or in other locations without the approval of the Architect.

**shm** LANDSCAPES  
 4514 Travis Street, Suite 302 - Dallas, Texas 75205  
 214.252.3800 • 214.252.3840 Fax • [shmarchitects.com](http://shmarchitects.com)

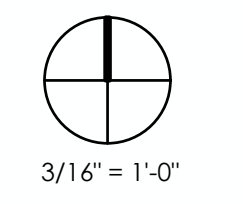
**POWERS RESIDENCE**  
 COLLEYVILLE, TEXAS

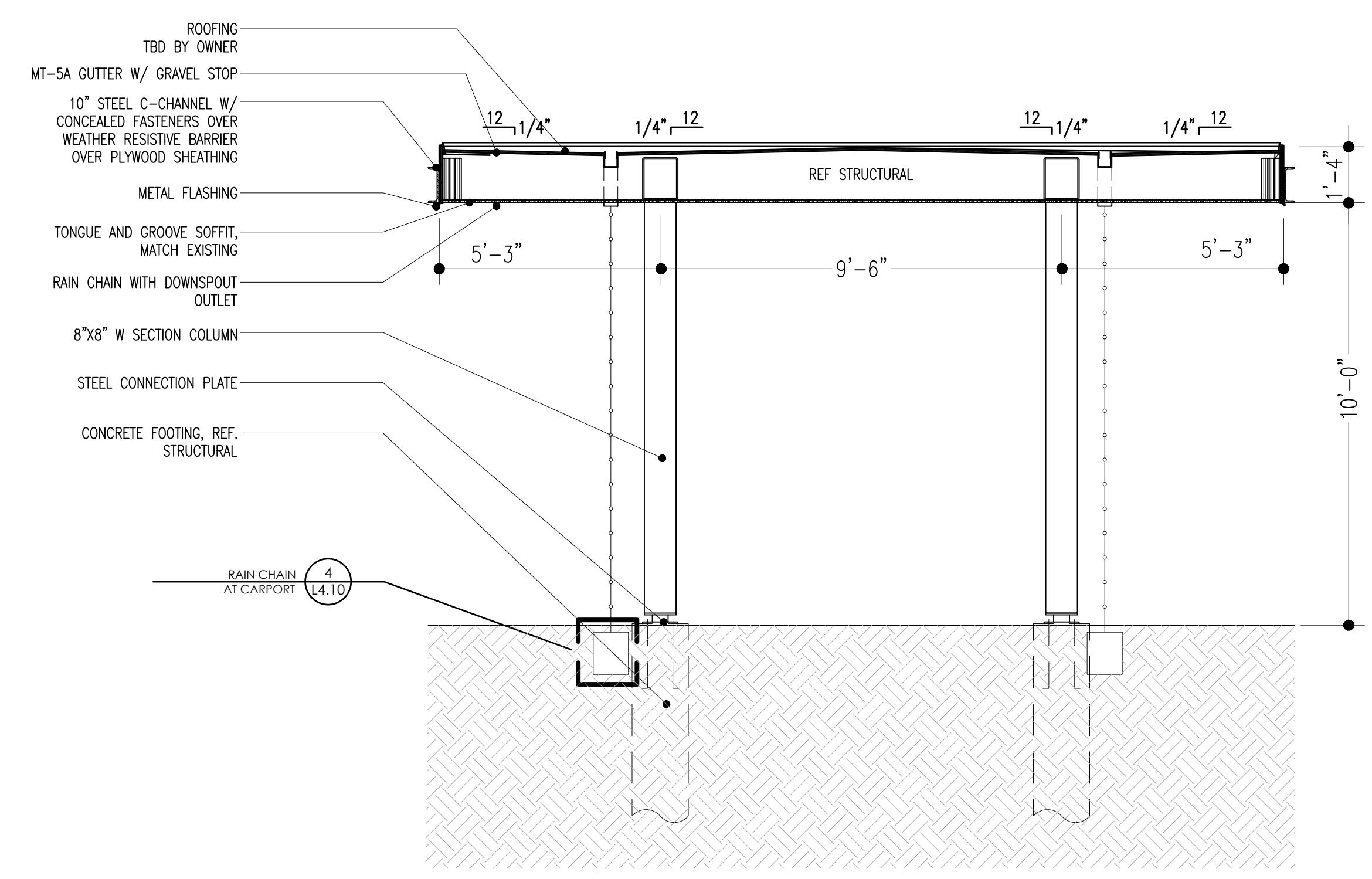
SHM PROJECT #  
 18-185

ISSUE DATE  
 MAY 11, 2026

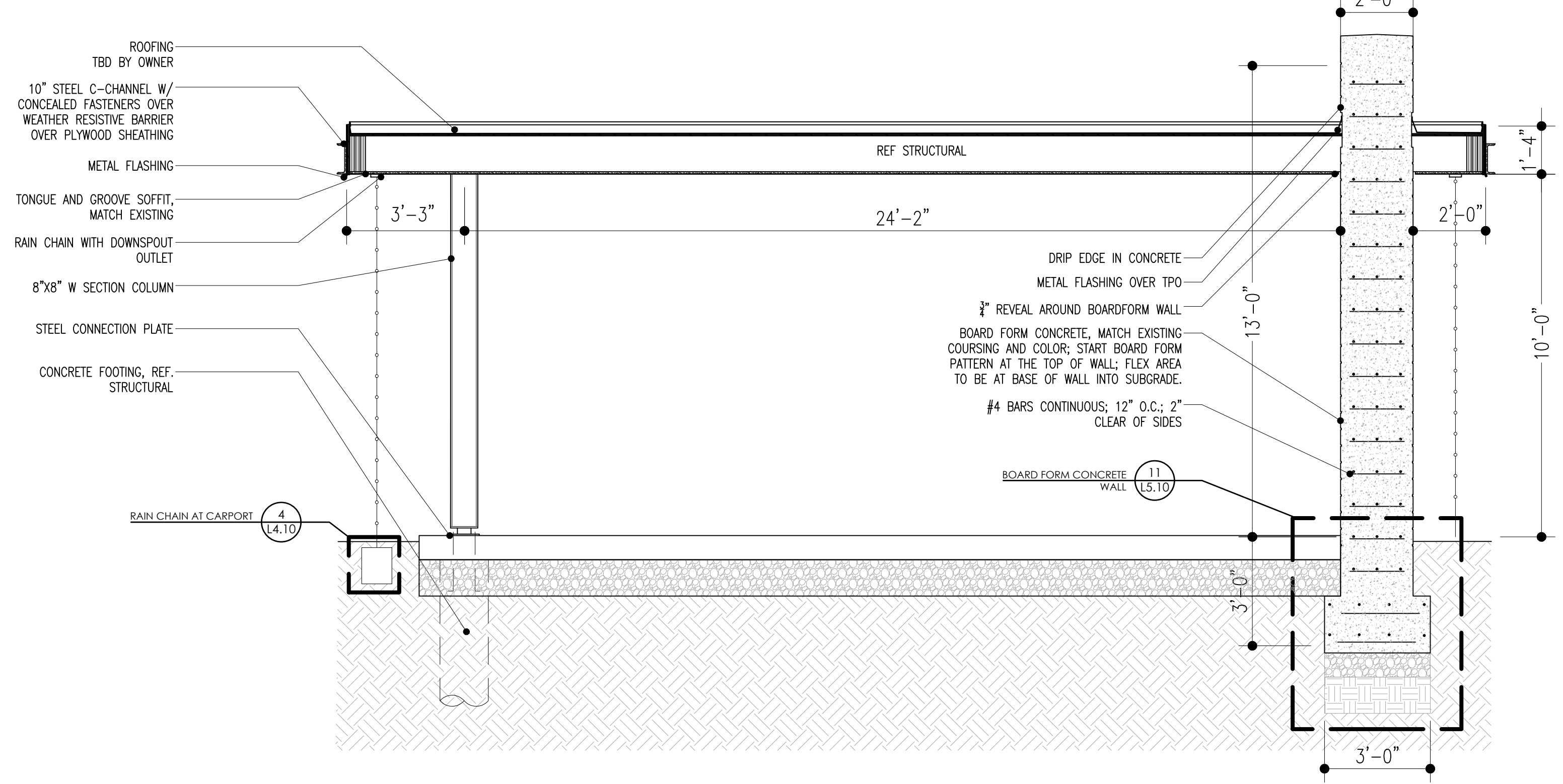
GRADING & DRAINAGE  
 PLAN

**L4.00**

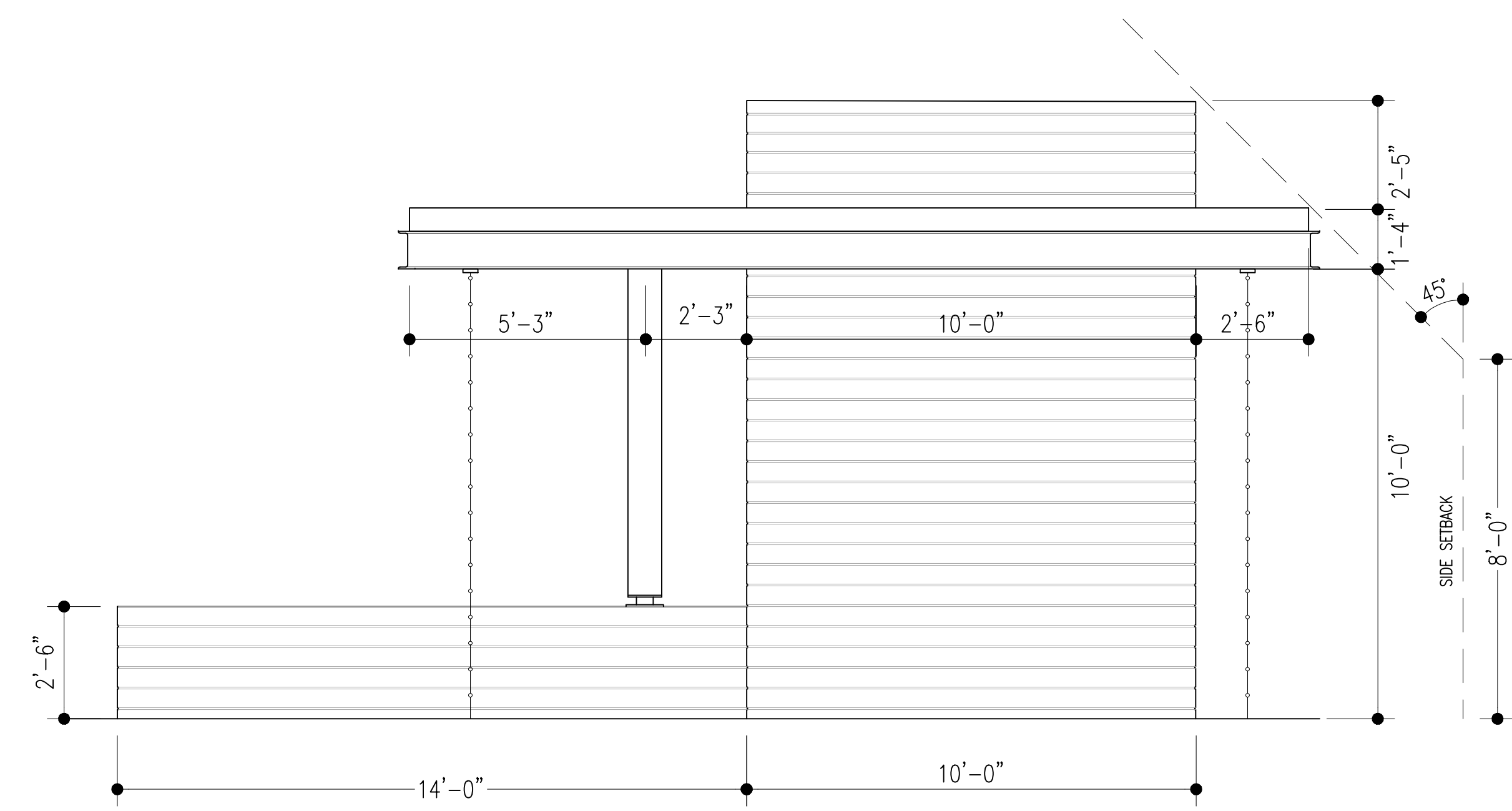




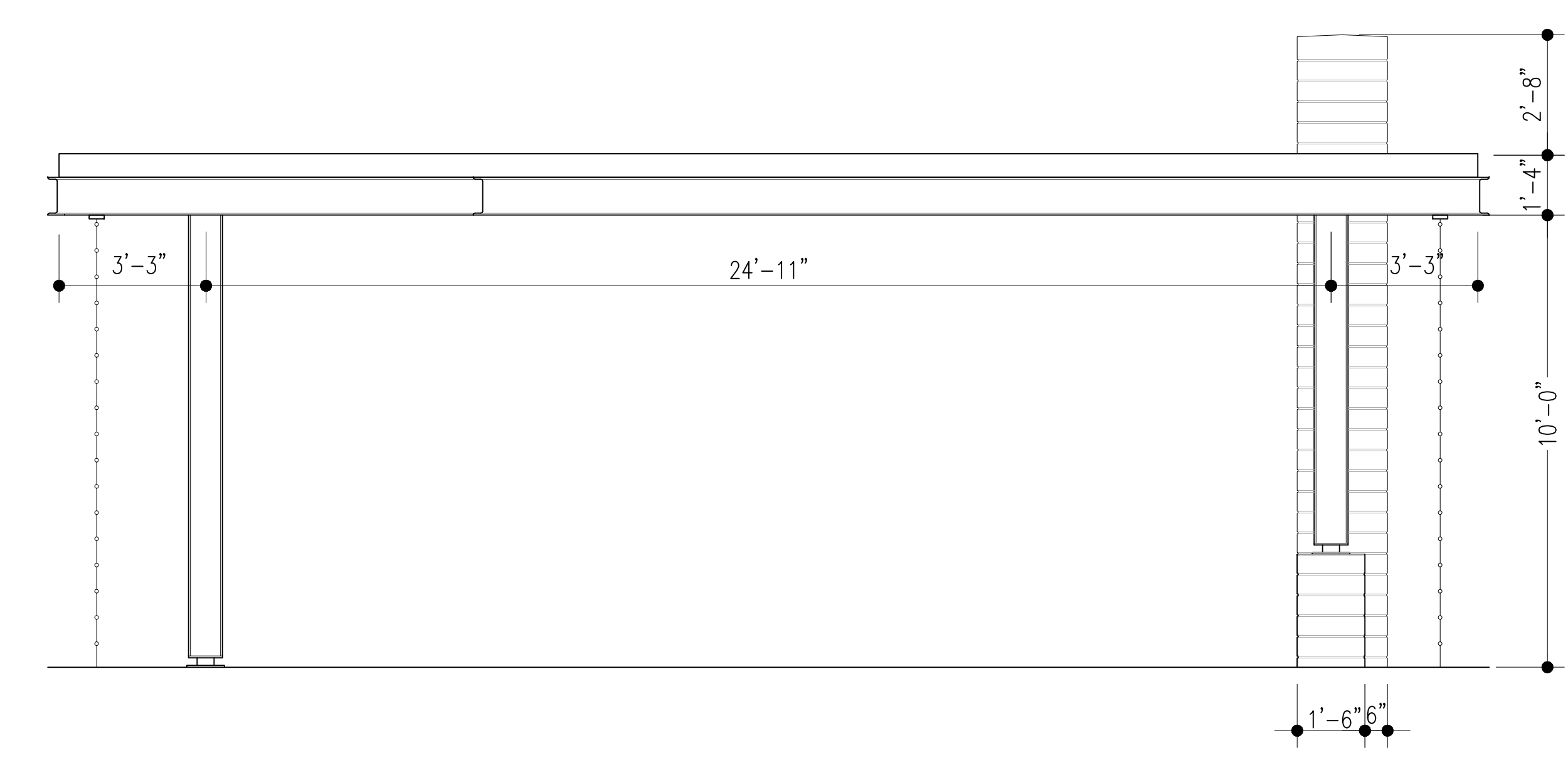
05 SECTION 02  
 3/8" = 1'-0"



03 SECTION 01  
 3/8" = 1'-0"



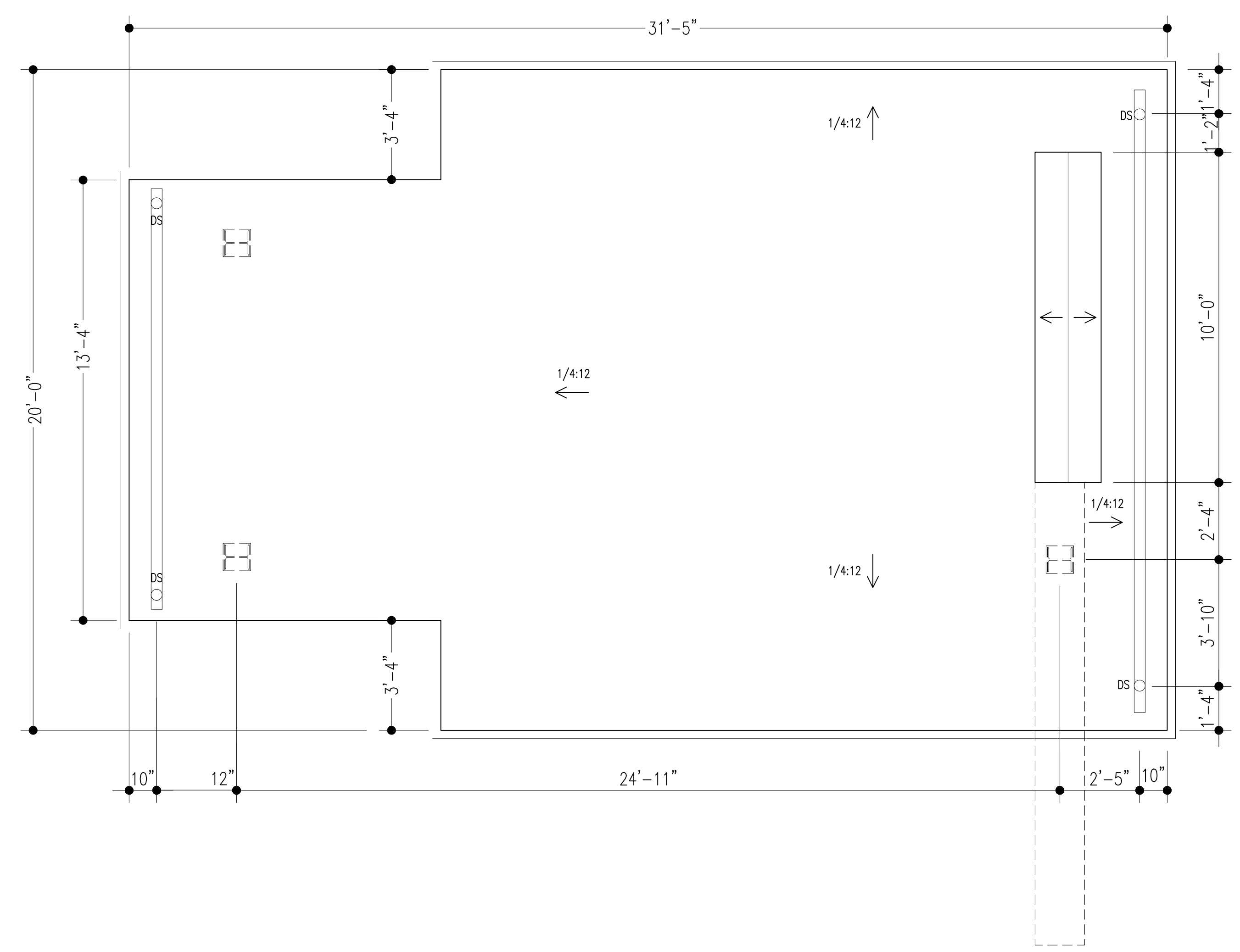
04 ELEVATION 02  
 3/8" = 1'-0"



02 ELEVATION 01  
 3/8" = 1'-0"



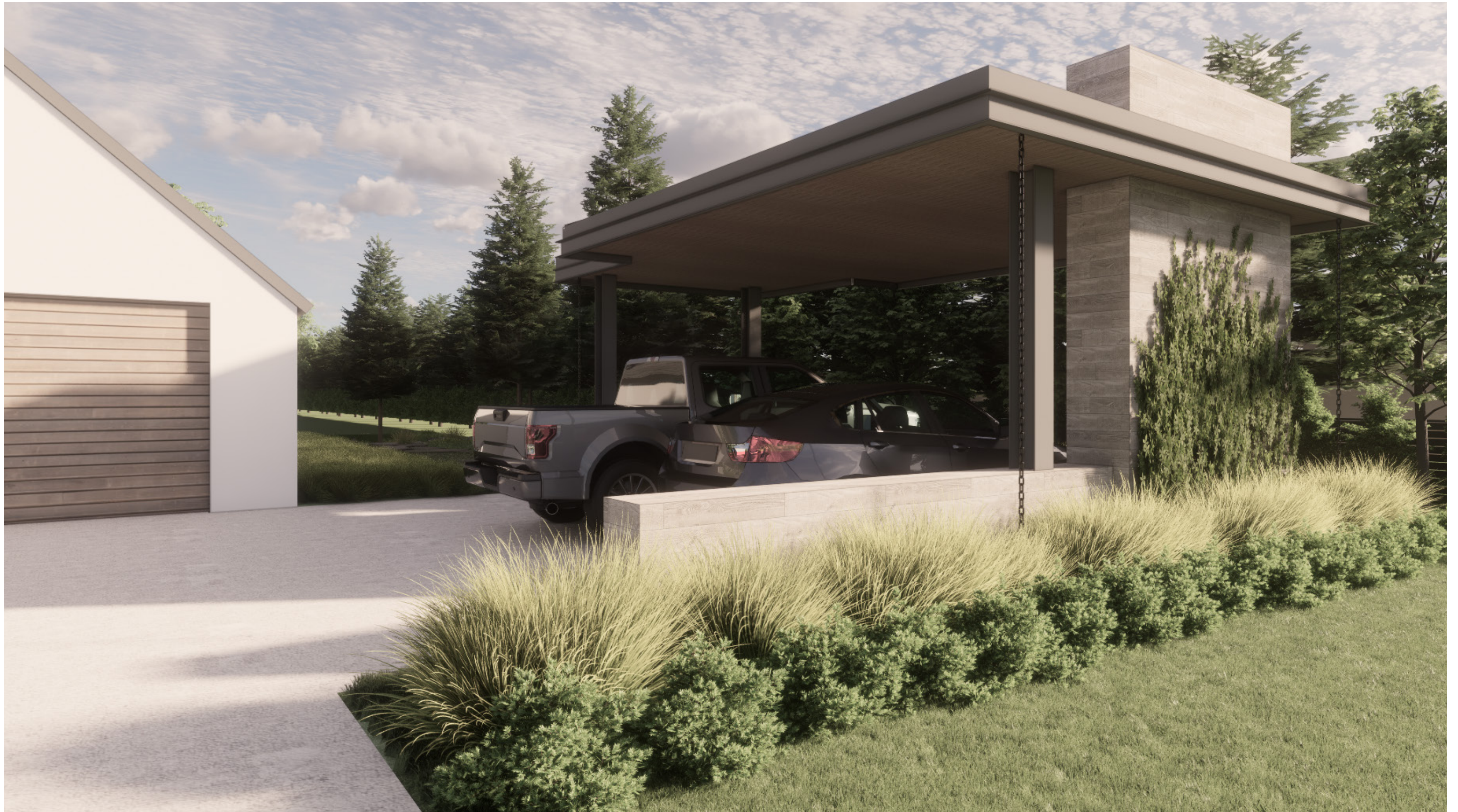
RENDERING  
 NTS



01 ROOF PLAN  
 3/8" = 1'-0"

# Walker Residence

Car Port Renderings



3D Renderings

SHM



3D Renderings

SHM



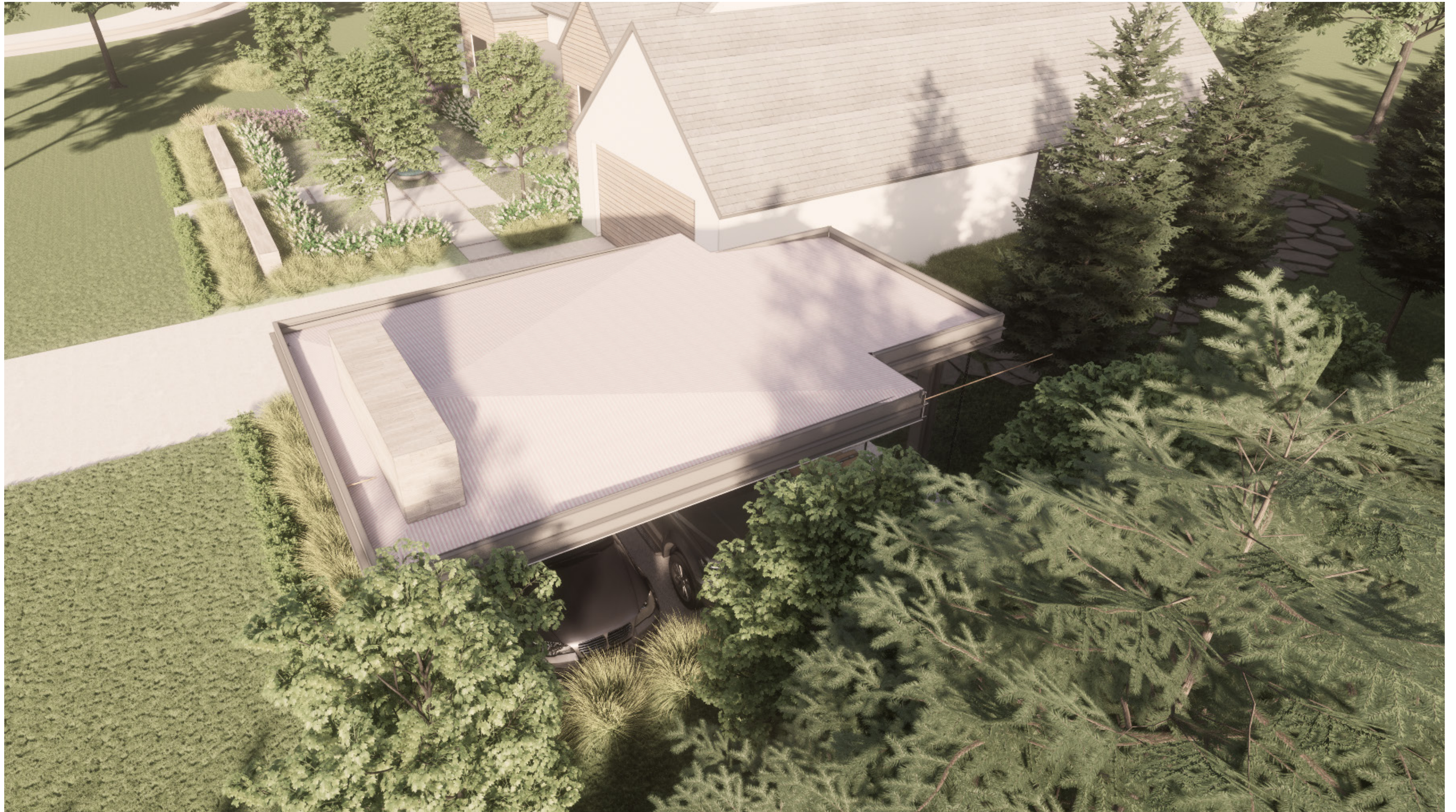
3D Renderings

SHM



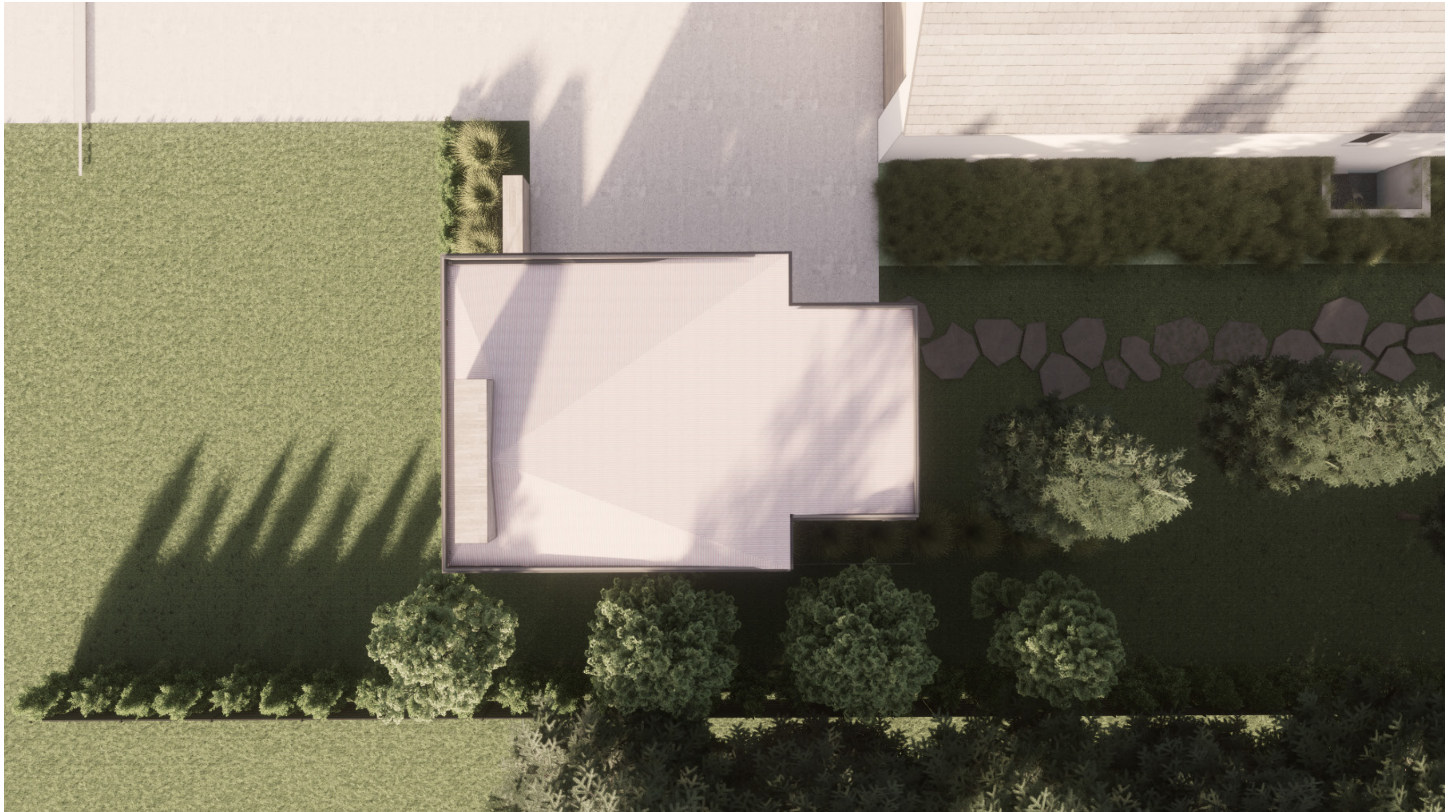
3D Renderings

SHM



3D Renderings

SHM



3D Renderings

SHM

SHM

Hans Herrmann, ASLA-PLA, AIA, NCARB, LEED AP  
Design Principal  
hherrmann@shmarchitects.com | 469 965 3997