



**CITY OF COLLEYVILLE
PLANNING AND ZONING
COMMISSION WORKSESSION
AGENDA**

100 Main Street, Colleyville, Texas, 76034

MONDAY, JANUARY 26, 2026

**EXECUTIVE CONFERENCE ROOM - THIRD FLOOR
6:15 P.M.**

1. CALL TO ORDER

2. PRESENTATION AND DISCUSSION

- 2a** Presentation and discussion of a Special Use Permit for Massage Therapy use on Lot 3R1, Block 1, Felps, Andy Addition, located at 3919 Colleyville Boulevard, Case ZC26-001
- 2b** Presentation and discussion of a rezoning from R-40 Single-Family Residential and R-20 Single-Family Residential to R-40 Single-Family Residential on Tracts 4M and A328 TR 2V, Abstract 1518, David R. Teeter Survey, located at 2200 Oak Knoll Drive, Case ZC26-002
- 2c** Presentation and discussion of a Special Use Permit for an accessory building on Lot 6, Block 7, Oak Crest Hills, located at 205 Oak Crest Hill Drive, Case ZC26-003
- 2d** Presentation and discussion of a minor plat with a waiver for lot width for proposed Lot 1, Block 1, Engelman Addition, being Tracts 4M and A328 TR 2V, Abstract 1518, David R. Teeter Survey, located at 2200 Oak Knoll Drive, Case PC26-001

3. ADJOURNMENT

I hereby certify this agenda was posted on City Hall bulletin boards *Tuesday, January 20, 2026*, by 5:00 p.m.

Ben Bryner
Community Development Director

A quorum of any Colleyville board, commission, or committee may be present at this meeting. Any matter on this agenda may, at the discretion of the governing body, be opened for public comment and discussion.

If you plan to attend this public meeting and have a disability that requires special accommodations, please advise the City Secretary at least 48 hours in advance at 817.503.1133, and reasonable accommodations will be made to assist you.



CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

Agenda Number 2a

Agenda Date 1/26/2026

Number -

Type Presentation and Discussion

Department Community Development

Title

Presentation and discussion of a Special Use Permit for Massage Therapy use on Lot 3R1, Block 1, Felps, Andy Addition, located at 3919 Colleyville Boulevard, Case ZC26-001

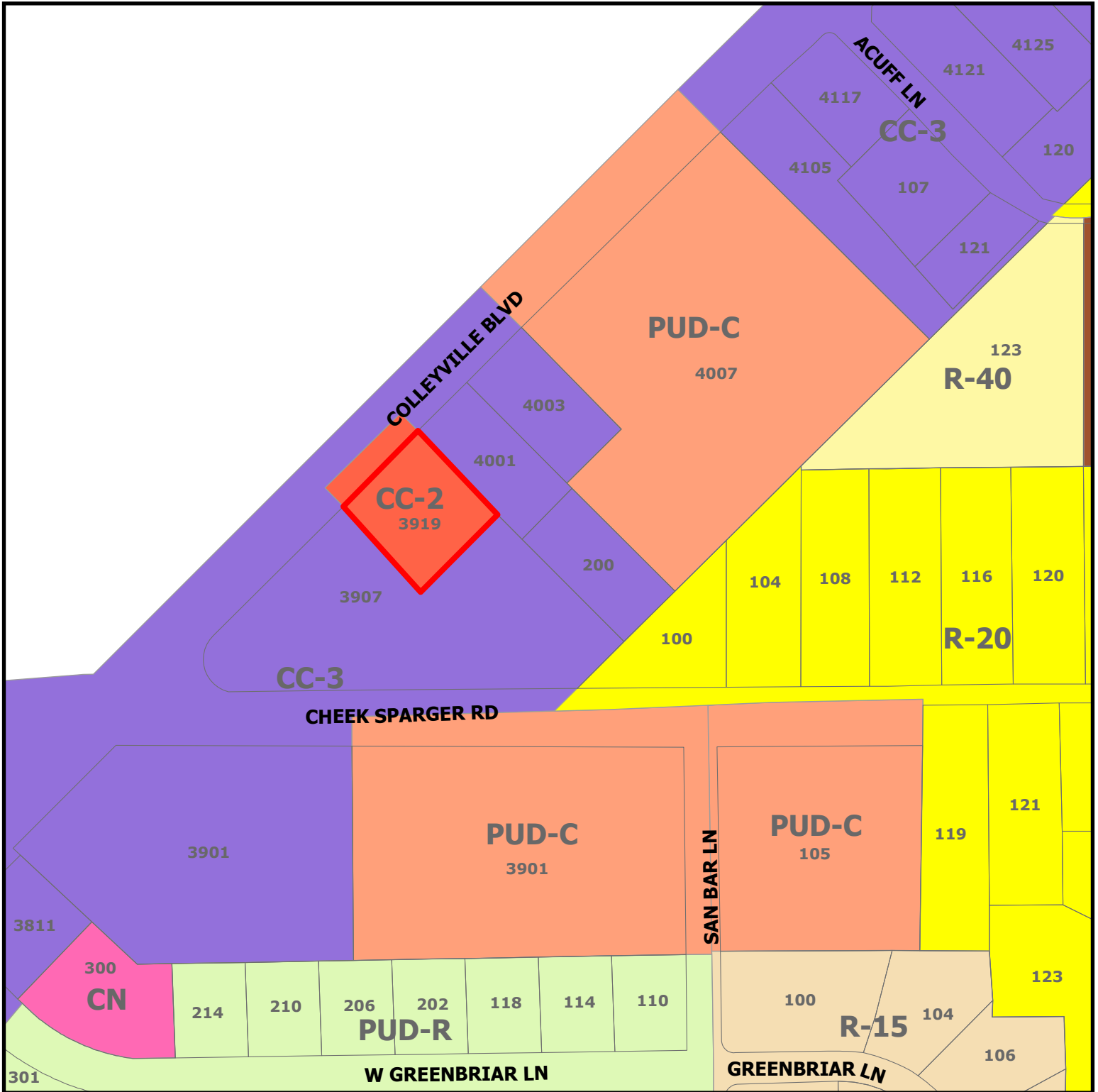
Explanation

Diane Khamvongsouk, the applicant, has submitted a Special Use Permit request for a Massage Therapy use on Lot 3R1, Block 1, Felps, Andy Addition, being approximately 0.47 acres, and zoned CC-2 Shopping Center.

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Statement of Planning Objectives
5. Floor Plan
6. Landlord Letter of Support
7. Landlord Authorization Letter

Zoning Map



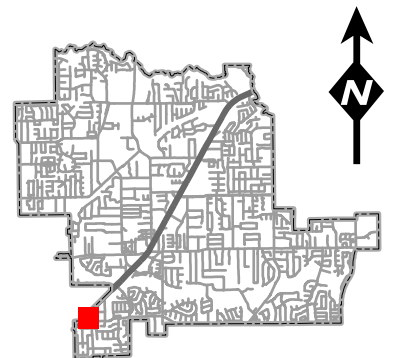
ZC26-001

3919 Colleyville Boulevard

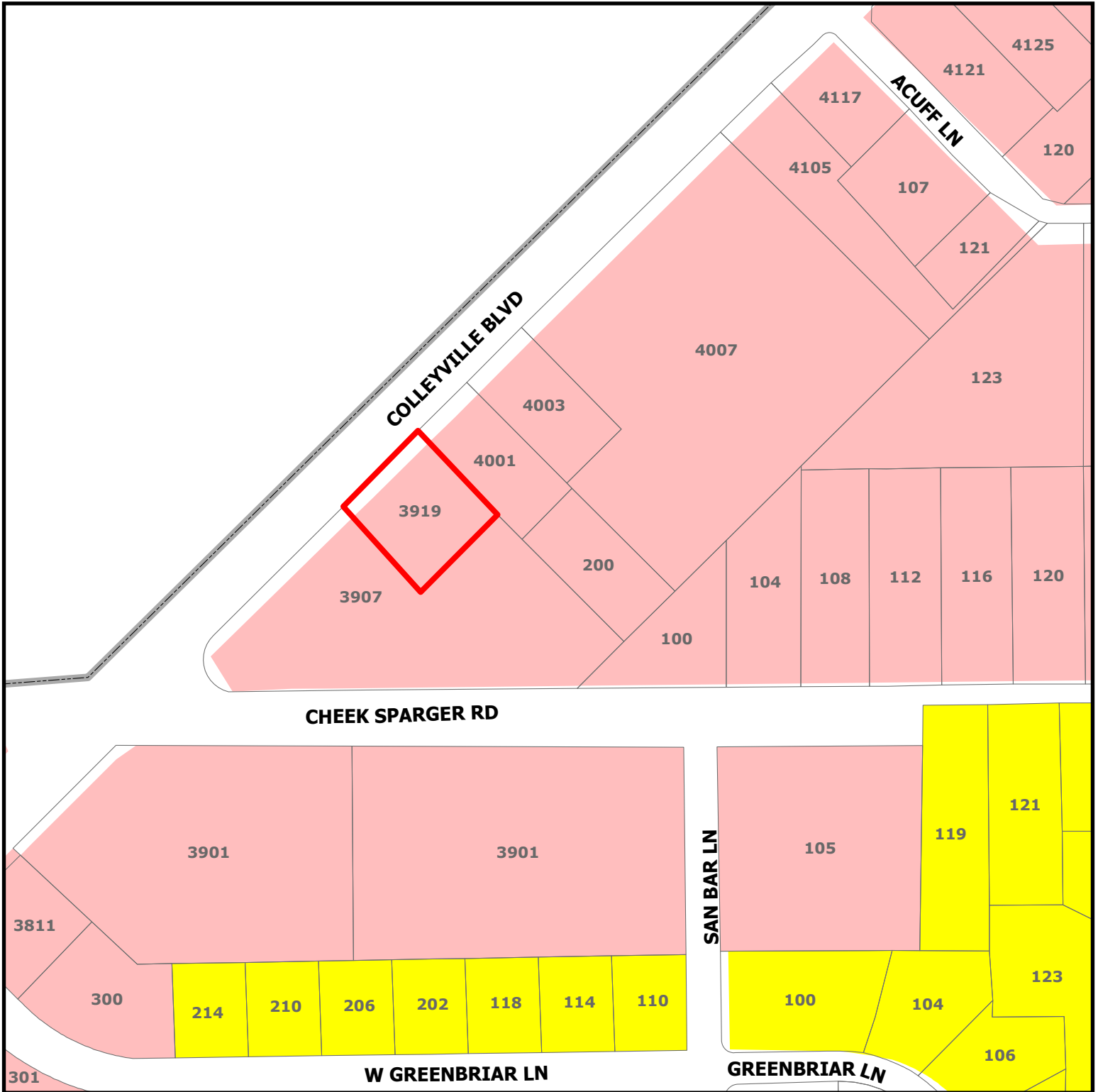


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 Subject Property



Future Land Use Map



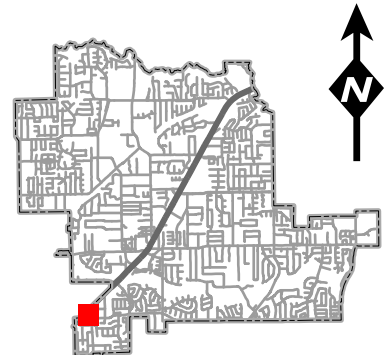
ZC26-001

3919 Colleyville Boulevard



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- Residential
- Colleyville Blvd Corridor
- Subject Property



PLANNING OBJECTIVES LETTER

Special Use Permit (SUP) & Certificate of Occupancy (CO)

Property Address: 3919 Colleyville Blvd, Suite C, Colleyville, TX 76034

Applicant: DFW Thai Massage Therapy, LLC

DBA: Lotus Thai Massage Wellness & Beauty

Proposed Use: Massage Therapy, Wellness Services, and Limited Ancillary Beauty Services

1. INTRODUCTION & PURPOSE

This Planning Objectives Letter is submitted in support of the Special Use Permit (SUP) and Certificate of Occupancy (CO) applications for DFW Thai Massage Therapy, LLC, doing business as Lotus Thai Massage Wellness & Beauty, proposed to operate within Suite C at 3919 Colleyville Blvd, Colleyville, Texas

The purpose of this letter is to provide a detailed explanation of the proposed business model, daily operations, staffing, client flow, and facility use. This document is intended to clearly demonstrate that the proposed use is well-managed, low-impact, compatible with surrounding commercial uses, and compliant with the City of Colleyville's zoning, safety, and operational standards.

2. BUSINESS OVERVIEW & OWNER EXPERIENCE

Lotus Thai Massage Wellness & Beauty is owned and operated by Diane Nguyen Khamvongsouk, a licensed massage therapist and beauty professional with over 20 years of experience in massage therapy, wellness services, and salon operations.

The owner is deeply passionate about the service and care industry and has built a long-standing client base through ethical, professional, and client-focused wellness services. Her experience includes hands-on service delivery, business management, staff supervision, and regulatory compliance within the personal care industry.

The business currently operates out of a small salon suite, which limits the ability to properly accommodate massage therapy services. The proposed location allows the business to expand into a purpose-appropriate and compliant space, designed specifically to support professional massage therapy and wellness operations in a controlled and responsible manner.

All services will be performed by properly licensed professionals in full compliance with Texas Department of Licensing and Regulation (TDLR) requirements and all applicable City of Colleyville regulations.

3. DESCRIPTION OF SERVICES & OPERATIONAL STRUCTURE

Primary Use: Massage Therapy & Wellness (Approximately 90%)

The primary function of the business is licensed massage therapy and wellness services, representing approximately 90% of total operations. Services include:

- Traditional Thai massage
- Swedish massage
- Therapeutic and relaxation massage
- Herbal steaming and wellness treatments

These services are provided in private, enclosed treatment rooms, ensuring client privacy, quiet operations, and a calm, spa-like environment.

Ancillary Use: Limited Beauty Services (Approximately 10%)

Approximately 10% of services consist of limited hair services, which are:

- Provided exclusively by the owner/operator
- Offered only to long-standing, established clients of over 20 years
- Scheduled in a controlled and limited manner
- Ancillary and subordinate to the primary massage use

This component does not operate as a traditional hair salon. There are:

- No multiple stylists
- No chair rentals
- No walk-in salon traffic
- No retail salon operations

The inclusion of this limited service does not increase operational intensity, parking demand, or traffic beyond what is typical for a wellness-oriented massage establishment.

4. CLIENT FLOW, APPOINTMENTS & WALK-IN MANAGEMENT

The business will operate on a hybrid appointment and walk-in basis, structured to prevent overcrowding or excessive traffic.

- Appointments are scheduled in advance to manage therapist availability.
- Walk-in clients are accepted only when licensed therapists are available and not already booked.
- If no therapists are available, walk-in clients are not accepted.

This operational model ensures:

- Controlled client volume
- Predictable traffic patterns
- No waiting lines or loitering
- A quiet and orderly environment

Clients typically arrive individually or in pairs, remain onsite for the duration of their service, and depart promptly after completion.

5. HOURS OF OPERATION

Proposed Hours:

- Monday – Sunday: 10:00 AM to 8:00 PM

There are no late-night hours, no overnight operations, and no extended or irregular operating schedules.

6. STAFFING & DAILY OPERATIONS

Staffing levels are intentionally modest and aligned with the size of the suite and treatment capacity.

- Owner/operator onsite and actively involved
- Licensed massage therapists scheduled by appointment demand
- No large shifts or overlapping staff changes
- No live entertainment or group activities

Daily operations consist of:

- Client check-in at reception
 - Escorting clients to private treatment rooms
 - One-on-one services conducted indoors
 - Standard cleaning and sanitation between appointments
-

7. PARKING & TRAFFIC IMPACT

As confirmed by City staff, the proposed use requires 1 parking space per 200 square feet. The suite contains approximately 1,800 square feet, and the building provides 25 parking spaces, which adequately meets the parking requirement

Due to:

- Appointment-based scheduling
- Limited walk-in acceptance
- One-on-one services
- Staggered appointment times

The business is not expected to create excessive traffic or parking demand and will operate within the capacity of existing parking infrastructure.

8. EXTERIOR & INTERIOR IMPROVEMENTS

Exterior Improvements

- No exterior modifications are proposed
- Standard business signage only
- All signage will comply with City sign regulations and permitting

Interior Improvements

Interior improvements are proposed and submitted with this application and include:

- Individual massage treatment rooms
- Reception and waiting area
- Defined, owner-only hair service area
- Support spaces (storage, laundry, restroom)

All improvements are **non-structural** and will comply with:

- Building codes
- Fire and life safety codes

- Accessibility requirements
-

9. COMPLIANCE, SAFETY & REGULATORY OVERSIGHT

Lotus Thai Massage Wellness & Beauty is committed to full compliance with all applicable laws and regulations, including:

- Texas massage establishment licensing
 - Individual therapist licensing
 - Health and sanitation standards
 - Building, fire, and life safety inspections
 - City of Colleyville SUP and CO requirements
 - Police Department interview and review process, if required
-

10. COMPATIBILITY WITH SURROUNDING USES

The proposed use is fully compatible with the surrounding commercial environment. Operations are conducted entirely indoors and generate:

- No outdoor activity
- No amplified sound
- No alcohol service
- No adult-oriented uses
- No late-night disturbances

The business functions as a quiet, professional wellness establishment, consistent with neighboring retail and service uses along Colleyville Boulevard.

11. CONCLUSION

DFW Thai Massage Therapy, LLC, dba Lotus Thai Massage Wellness & Beauty, respectfully requests approval of the Special Use Permit and Certificate of Occupancy for the proposed use at 3919 Colleyville Blvd, Suite C.

With a clearly defined operational structure, controlled client volume, experienced ownership, and strong commitment to regulatory compliance, the applicant believes this business will be a positive, well-managed, and low-impact addition to the Colleyville community.

Sincerely,

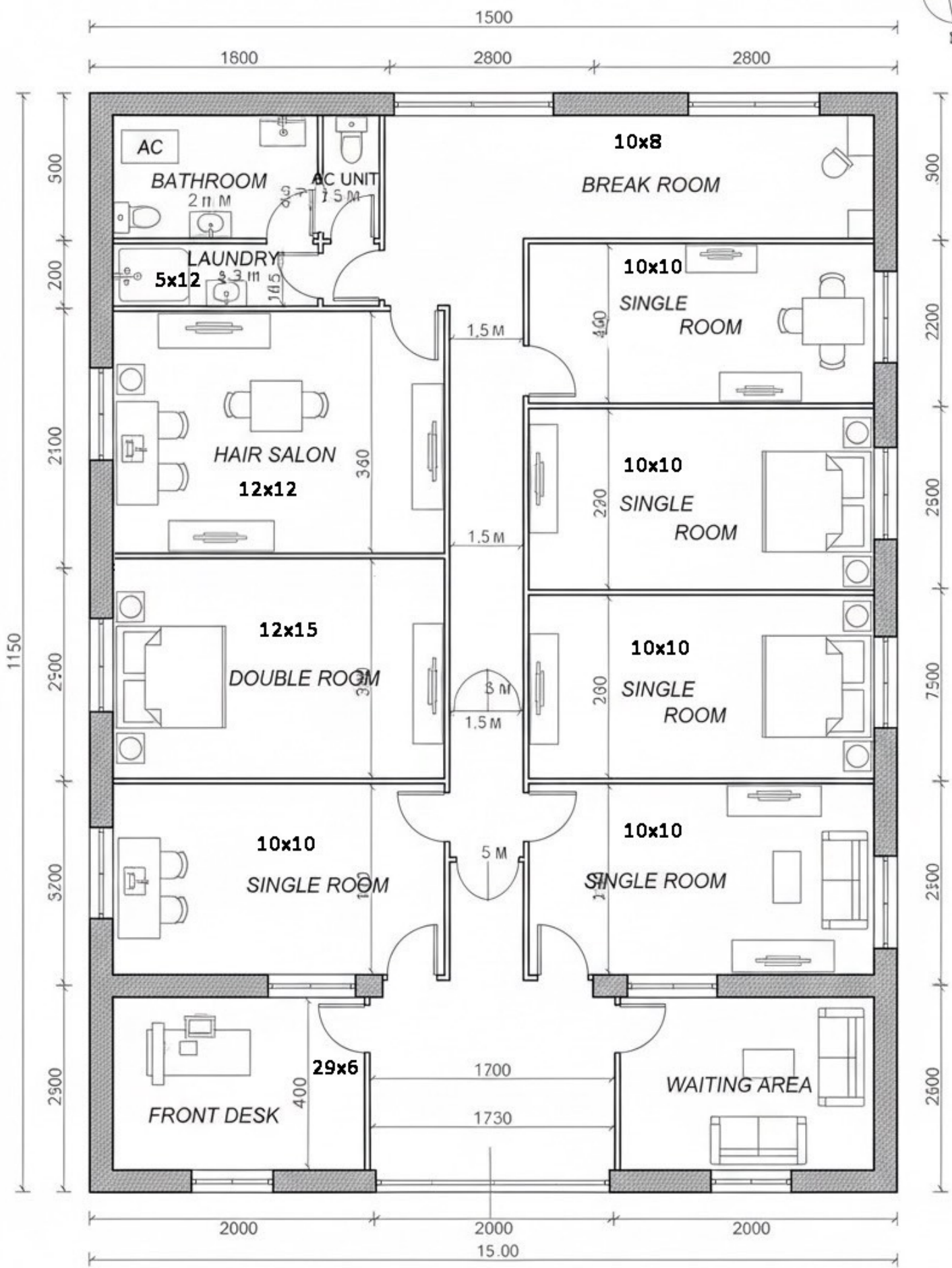
DFW Thai Massage Therapy, LLC
DBA Lotus Thai Massage Wellness & Beauty

Authorized Representative:

Diane Khamwongsouk

Owner / Operator





Inhyun An of A & S Colleyville LLC
1052 W Camp Wisdom Rd.
Dallas, TX 75232

Date: 1/12/26

City of Colleyville

100 Main Street
Colleyville, TX 76034

Re: Landlord Authorization for Special Use Permit & Certificate of Occupancy Application

Premises: **3919 Colleyville Blvd, Suite C, Colleyville, TX 76034**

To Whom It May Concern,

I, **Inhyun An of A & S Colleyville LLC**, the authorized owner/landlord of the property located at **3919 Colleyville Blvd, Suite C, Colleyville, TX 76034**, hereby grant permission to the tenant, **Diane Khamvongsouk**, operating as **Lotus Thai Massage Wellness & Beauty**, to apply with the **City of Colleyville** for all necessary approvals related to the proposed business use of the premises.

This authorization specifically includes, but is not limited to:

- Application for a **Special Use Permit (SUP)** for massage and beauty salon services; and
- Application for a **Certificate of Occupancy (CO)** for the same intended use.

The tenant is fully authorized to submit documents, request inspections, communicate with city officials, and complete any other steps required by the City of Colleyville to process the SUP and CO applications.

Should you need any additional information or confirmation, please feel free to contact me directly.

Sincerely,

Inhyun An
Owner/Landlord



Inhyun An of A & S Colleyville LLC
1052 W Camp Wisdom Rd.
Dallas, TX 75232

Date: 1/12/26

City of Colleyville
100 Main Street
Colleyville, TX 76034

Re: Landlord Authorization for Special Use Permit & Certificate of Occupancy Application

Premises: 3919 Colleyville Blvd, Suite C, Colleyville, TX 76034

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This authorization specifically includes, but is not limited to:

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- Application for a **Certificate of Occupancy (CO)** for the same intended use.

The tenant is fully authorized to submit documents, request inspections, communicate with city officials, and complete any other steps required by the City of Colleyville to process the SUP and CO applications.

Should you need any additional information or confirmation, please feel free to contact me directly.

Sincerely,

Inhyun An
Owner/Landlord





CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

Agenda Number 2b

Agenda Date 1/26/2026

Number -

Type Presentation and Discussion

Department Community Development

Title

Presentation and discussion of a rezoning from R-40 Single-Family Residential and R-20 Single-Family Residential to R-40 Single-Family Residential on Tracts 4M and A328 TR 2V, Abstract 1518, David R. Teeter Survey, located at 2200 Oak Knoll Drive, Case ZC26-002

Explanation

Matthew Engelman, the applicant, has submitted a request for a rezoning on Abstract 1518 Tracts 4M and A328 TR 2V of the David R. Teeter Survey, being approximately 1.9 acres, and zoned R-40 Single-Family Residential and R-20 Single-Family Residential. The request is to rezone the property to R-40 Single-Family Residential to allow for consistent zoning across the entire property.

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Statement of Planning Objectives
5. Zoning Exhibit
6. Plat Exhibit

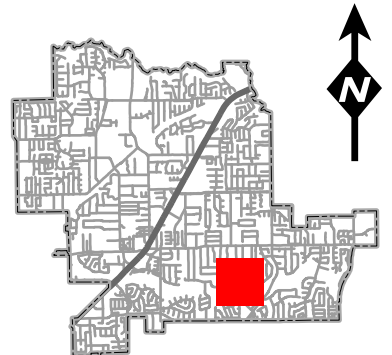
Aerial Map



ZC26-002

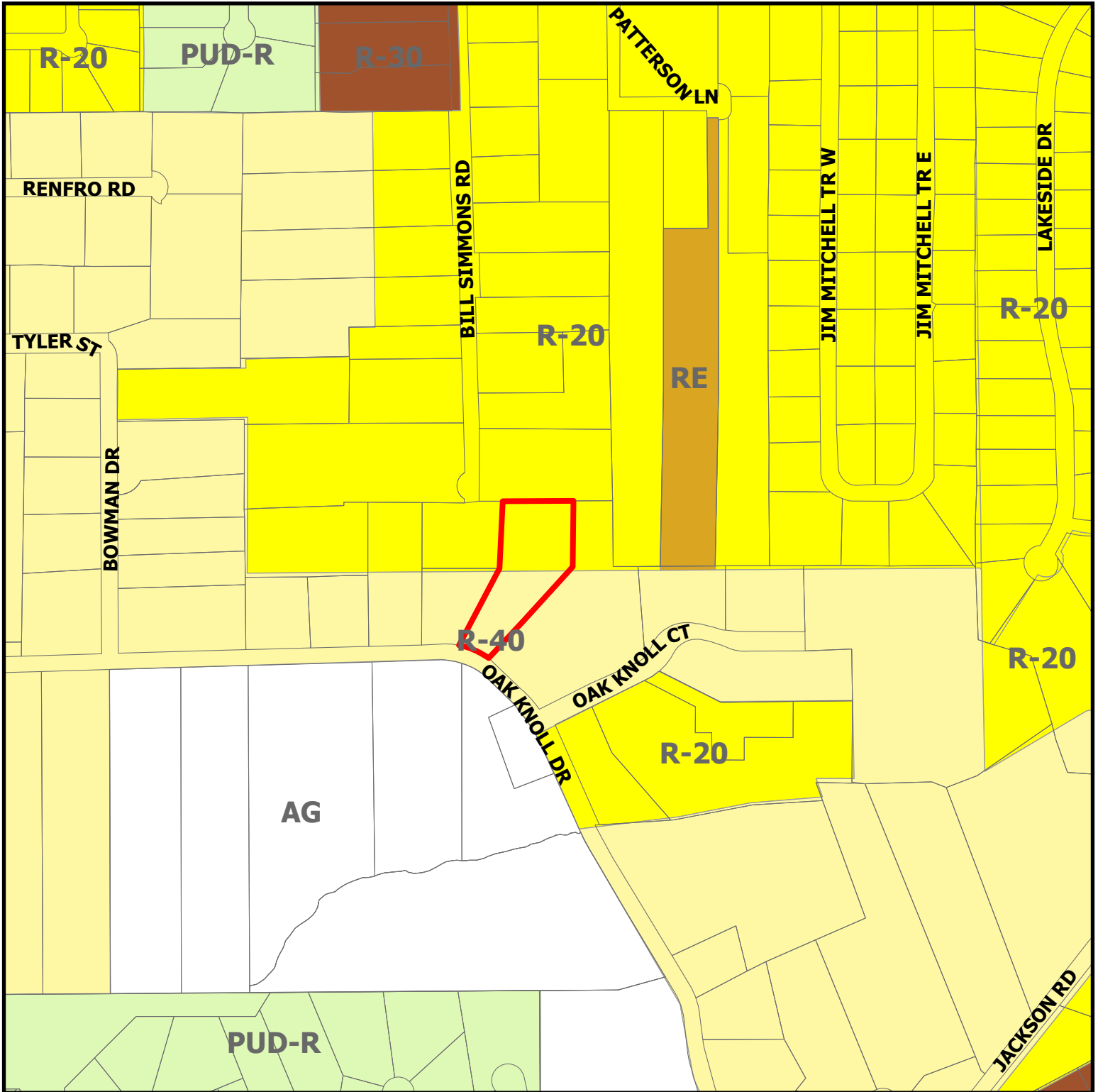
2200 Oak Knoll Drive

 Subject Property



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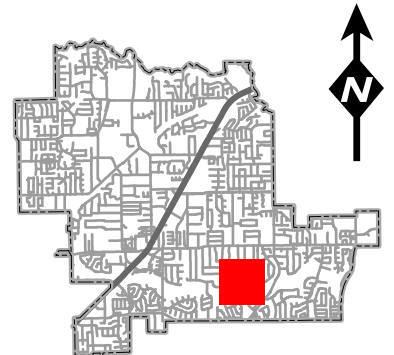
Zoning Map



ZC26-002

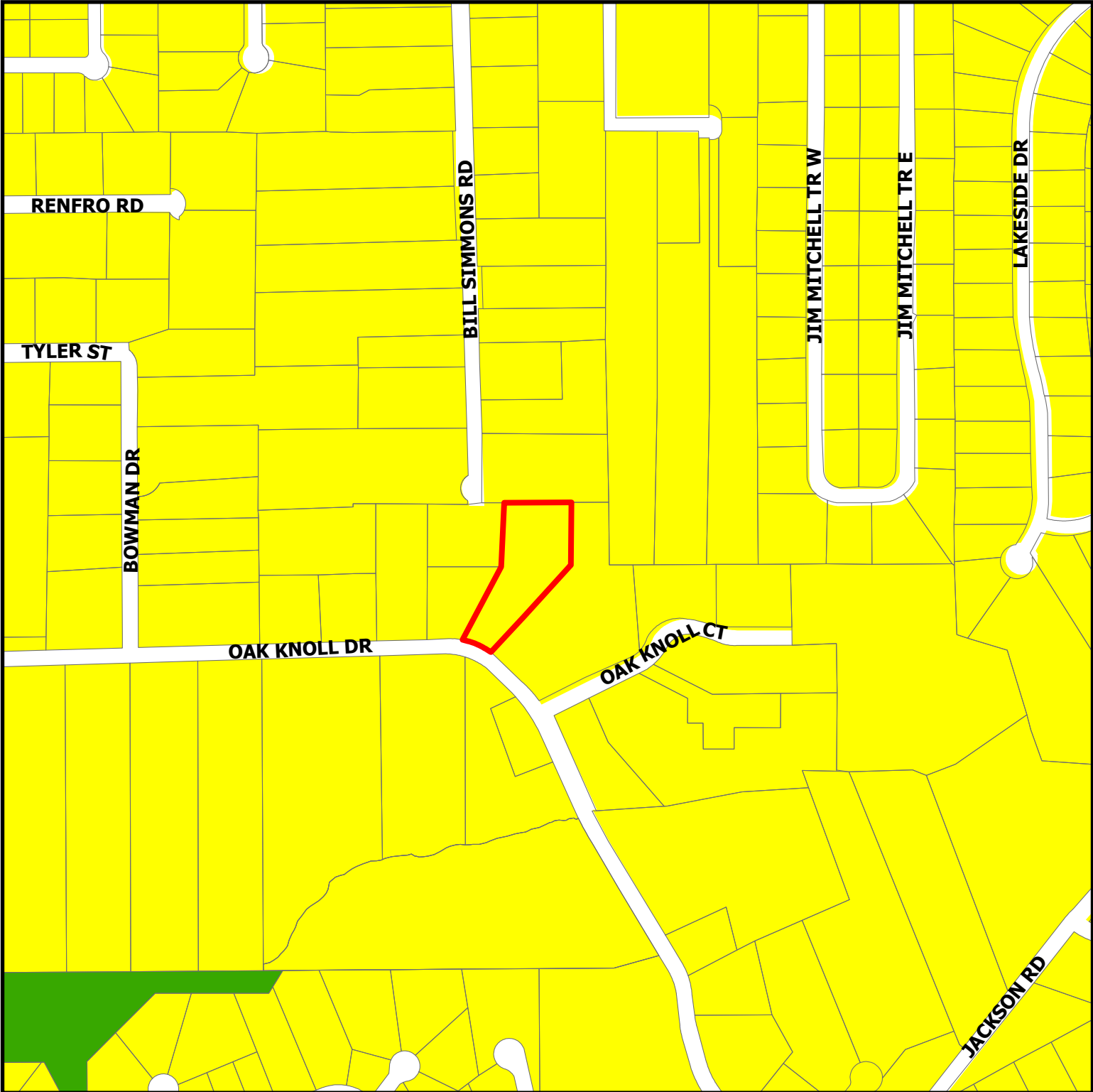
2200 Oak Knoll Drive

 Subject Property






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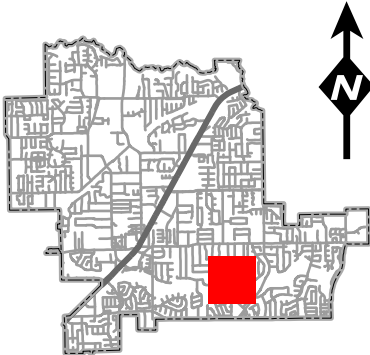
Future Land Use Map



ZC26-002

2200 Oak Knoll Drive

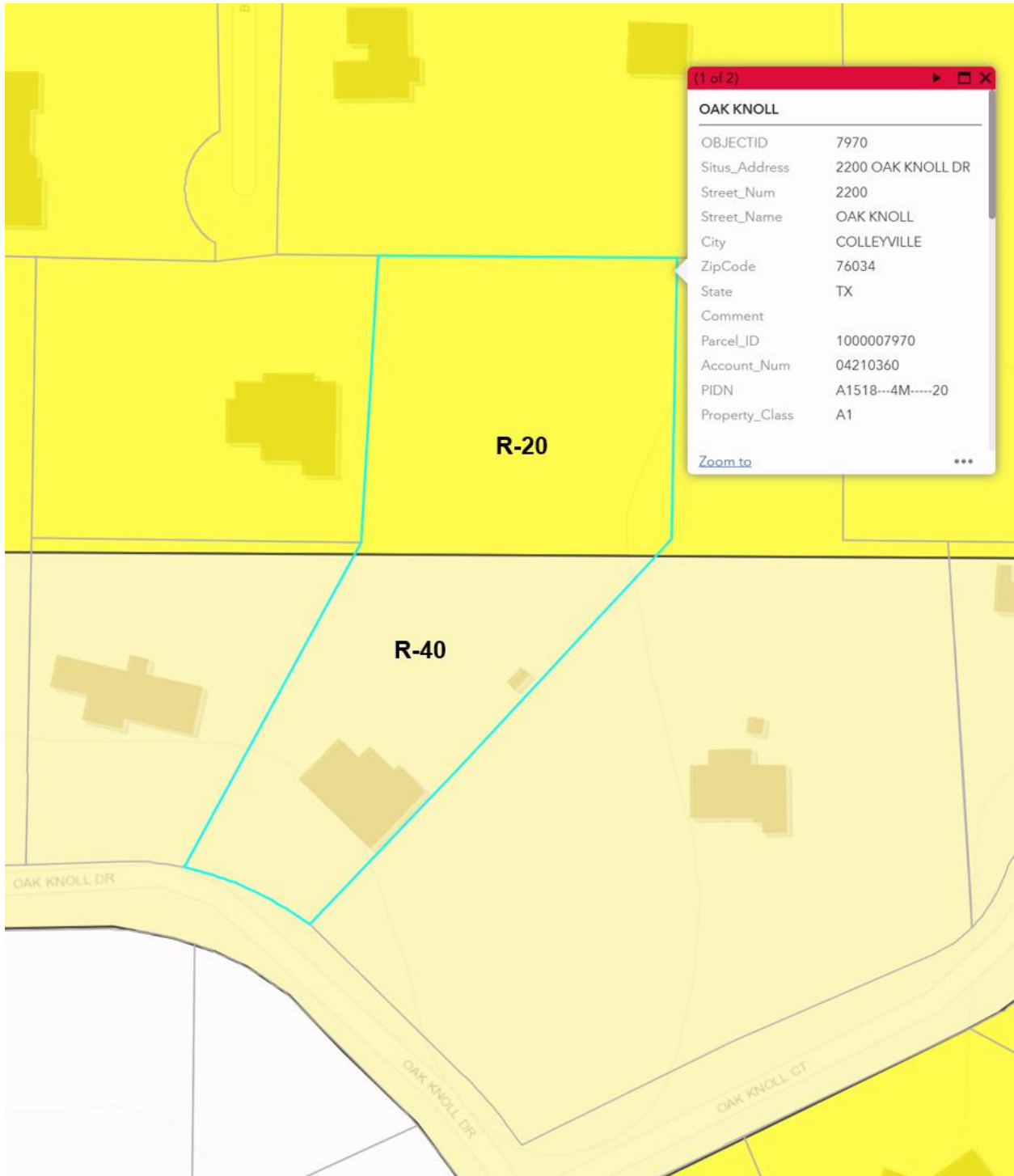
-  Residential
-  Open Space; Parks
-  Subject Property



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Statement of Planning Objectives

The property consists of two contiguous tracts described by metes and bounds that are proposed to be platted into a single lot. The property is currently split-zoned, with R-20 zoning on the northern portion and R-40 zoning on the southern portion. The request is to rezone the property to a consistent R-40 designation across the entire lot.



STATE OF TEXAS
OWNER'S DEDICATION AND ACKNOWLEDGEMENT
COUNTY OF TARRANT

Whereas Matthew & Shannon Engelman are the owners of a tract of land located at Colleyville, Tarrant County, Texas, being 1.984 acres situated in the D.R. Teeter Survey, Abstract 1518, and the Simon Cotrail Survey, Abstract 328, being that land conveyed to them via Instrument D225235263, Deed Records of Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING AT A POINT, SAID POINT BEING A 5/8" IR (FND) FOR THE SW CORNER OF THIS TRACT, BEING THE SE CORNER OF LAND OF CATHERINE COBB, D211016045, DRTCT, AND BEING IN THE NORTH LINE OF OAK KNOLL DRIVE, AN APPROXIMATE 50 FOOT R.O.W.;

THENCE NORTH 30° 18' 04" EAST, BY THE EAST LINE OF LAND OF SAID CATHERINE COBB, FOR A DISTANCE OF 254.74 FEET TO A 5/8" IR (FND);

THENCE NORTH 3° 05' 33" EAST (BASE BRG'), BY THE EAST LINE OF LAND OF DELORIS PEARSON, LOT 1, BLOCK 1 OF "PEARSON ADDITION" CABINET A, SLIDE 4674, PRTCT, FOR A DISTANCE OF 201.07 FEET TO A 5/8" IR (FND);

THENCE SOUTH 89° 24' 04" EAST, BY THE SOUTH LINE OF LAND OF JOHN NICHOLSON, VOLUME 5894, PAGE 794, DRTCT, FOR A DISTANCE OF 218.80 FEET TO A 5/8" IR (FND);

THENCE SOUTH 3° 17' 56" WEST, BY THE WEST LINE OF LAND OF ROBERT E. WOOSTER, VOL 4428, PAGE 929, DRTCT, FOR A DISTANCE OF 200.01 FEET TO A 5/8" IR (FND);

THENCE SOUTH 43° 53' 56" WEST, BY THE WEST LINE OF LAND OF SAID ROBERT E. WOOSTER, FOR A DISTANCE OF 385.72 FEET TO A 5/8" IR (FND) IN THE NORTH LINE OF OAK KNOLL DRIVE;

THENCE NORTH 47° 54' 04" WEST, BY THE NORTH LINE OF OAK KNOLL DRIVE, FOR A DISTANCE OF 50.26 FEET TO A 5/8" IR (FND);

THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT, RADIUS = 120.70 FEET, FOR A DISTANCE OF 49.40 FEET (L.C. = NORTH 58° 41' 22" WEST FOR 49.06 FEET), TO THE 5/8" IR AT THE POINT OF BEGINNING, SAID PARCEL BEING 86433 SQFT OR 1.984 ACRES MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Matthew & Shannon Engelman, owners, do hereby adopt this plat as Engelman Addition, an Addition to the City of Colleyville, Tarrant County, Texas, and do hereby dedicate fee simple to the public use forever all streets, rights-of-ways, and alleys shown thereon, and do hereby reserve the easements shown on this plat for the mutual use and accomodation of all public utilities desiring to use or using the same. Any public utility shall have the right to move and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approval subject to all platting ordinances, rules, regulations, and resolutions of the City of Colleyville, Texas.

Witness our hands this ____ day of _____, 2026

Matthew Engelman, Owner

Shannon Engelman, Owner

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Matthew Engelman, Owner known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2026

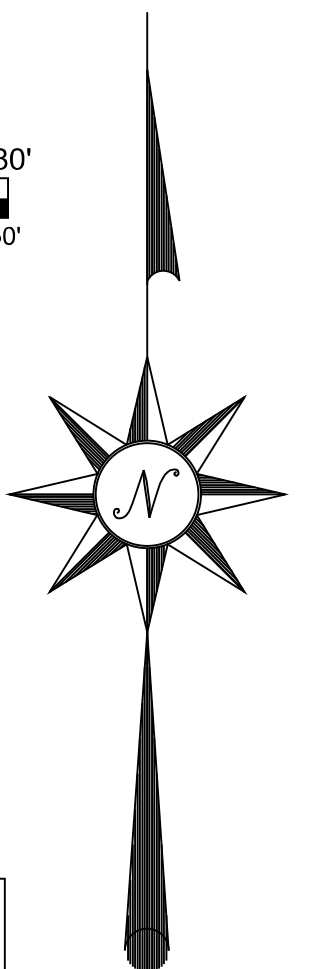
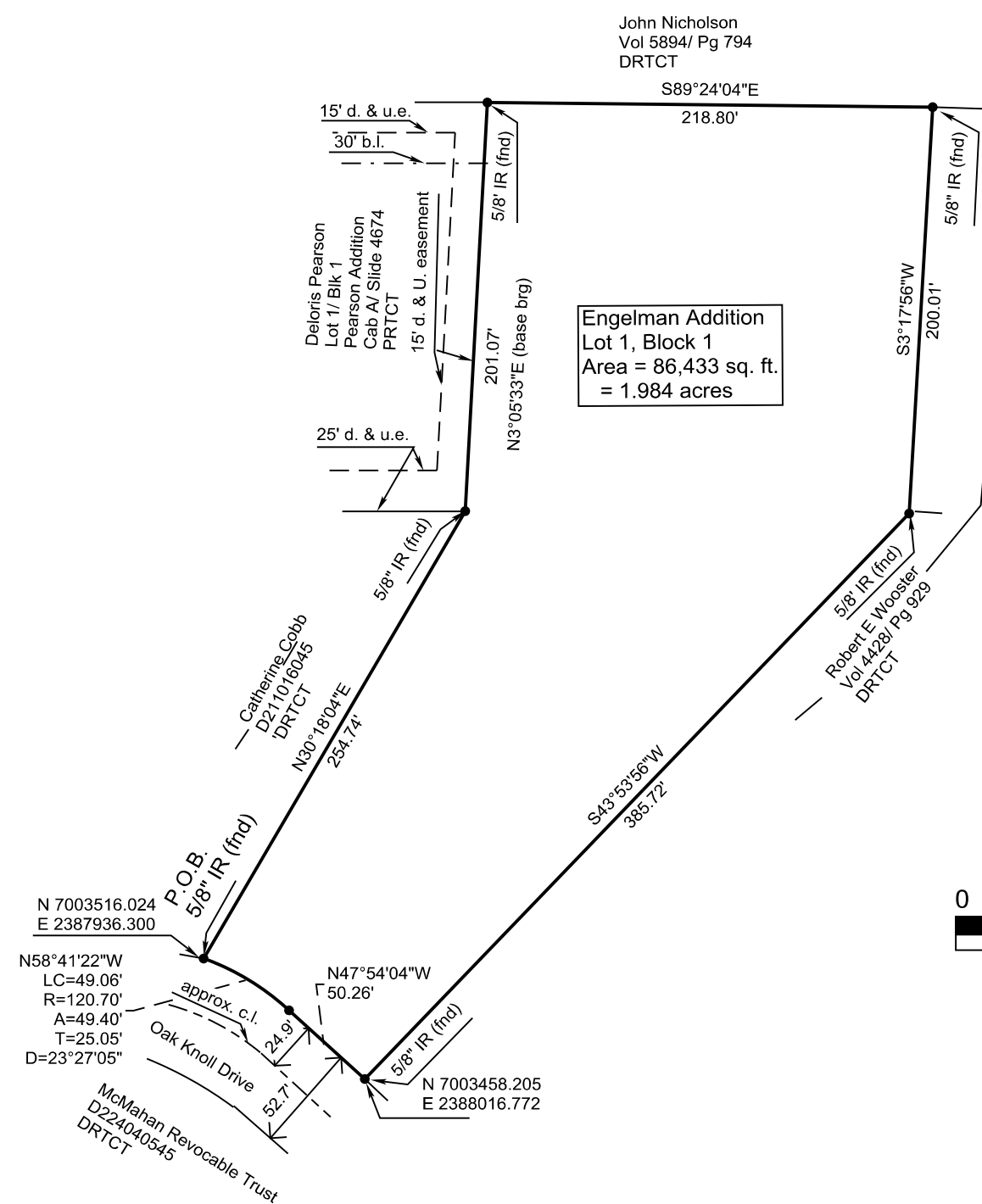
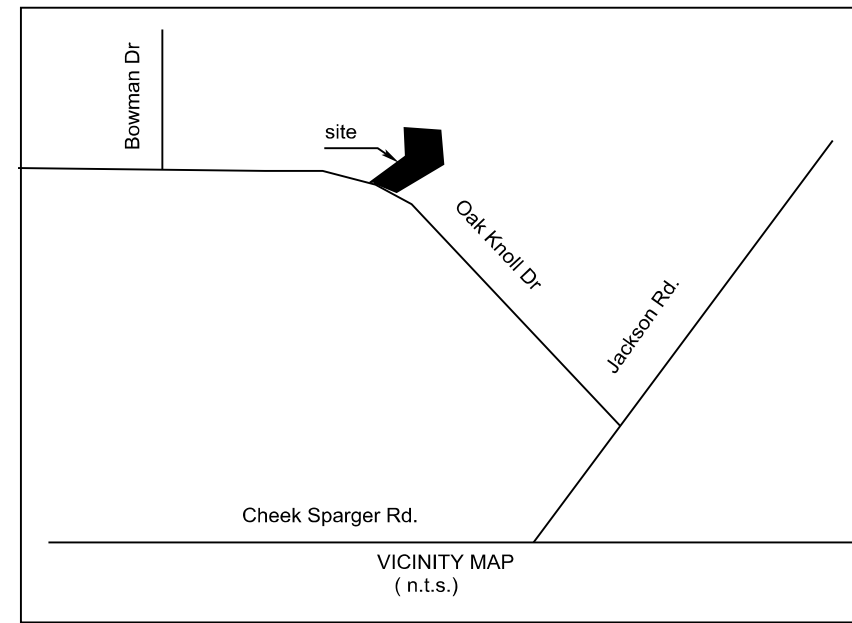
Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Shannon Engelman, Owner known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2026

Notary Public in and for the State of Texas



LEGEND
- DRTCT = Deed Records, Tarrant County, Texas
- PRTCT = Plat Records, Tarrant County, Texas
- IR = iron rod
- b.l. = building line
- d. & u.e. = drainage & utility easement
- Co-ordinates shown are Texas State Plane Co-ordinates, North Central Zone, NAD 83

The purpose of this plat is to create one platted lot from 2 contiguous, metes and bounds properties
Zoning change will be a separate application, will not be shown on plat.

STAFF APPROVAL AUTHORITY
This amending or minor plat is approved in accordance with Section 212.0065 of the Texas Local Government Code and the City of Colleyville Subdivision Regulations
Date _____
Community Development Director _____

MINOR PLAT
ENGELMAN ADDITION
Lot 1, Block 1
BEING 1.984 ACRES OF LAND SITUATED IN THE D.R. TEETER SURVEY, ABSTRACT 1518 AND THE SIMON COTRAIL SURVEY, ABSTRACT 328, CITY OF COLLEYVILLE, TARRANT COUNTY TEXAS

SURVEYOR'S CERTIFICATION
KNOW ALL MEN BY THESE PRESENTS:
That I, Richard DeFalco, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground. Further, this survey conforms to the general rules of procedures and practices of the most current Land Surveying Practices Act.



Signature _____ Date _____

STATE OF TEXAS, COUNTY OF TARRANT
Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Richard DeFalco, Registered Public Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.
Given under my hand and seal of office, this ____ day of _____, 2026
Notary Public in and for the State of Texas
My Board expires on: _____

OWNER:
Matthew & Shannon Engelman
3700 Treemont Ct.
Colleyville, TX. 76034
832-623-0903

Rick DeFalco - Surveyor
201 Carolyn Drive
Hurst, TX. 76054
817-428-0155
Date: 12/30/2025
Updated: 01/09/2026

According to the FIRM map #48439C0210K, dated 9/25/2009, this property is not located in a special flood hazard area. It is located in zone "x".

Date of preparation December 30, 2025



CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

Agenda Number 2c

Agenda Date 1/26/2026

Number -

Type Presentation and Discussion

Department Community Development

Title

Presentation and discussion of a Special Use Permit for an accessory building on Lot 6, Block 7, Oak Crest Hills, located at 205 Oak Crest Hill Drive, Case ZC26-003

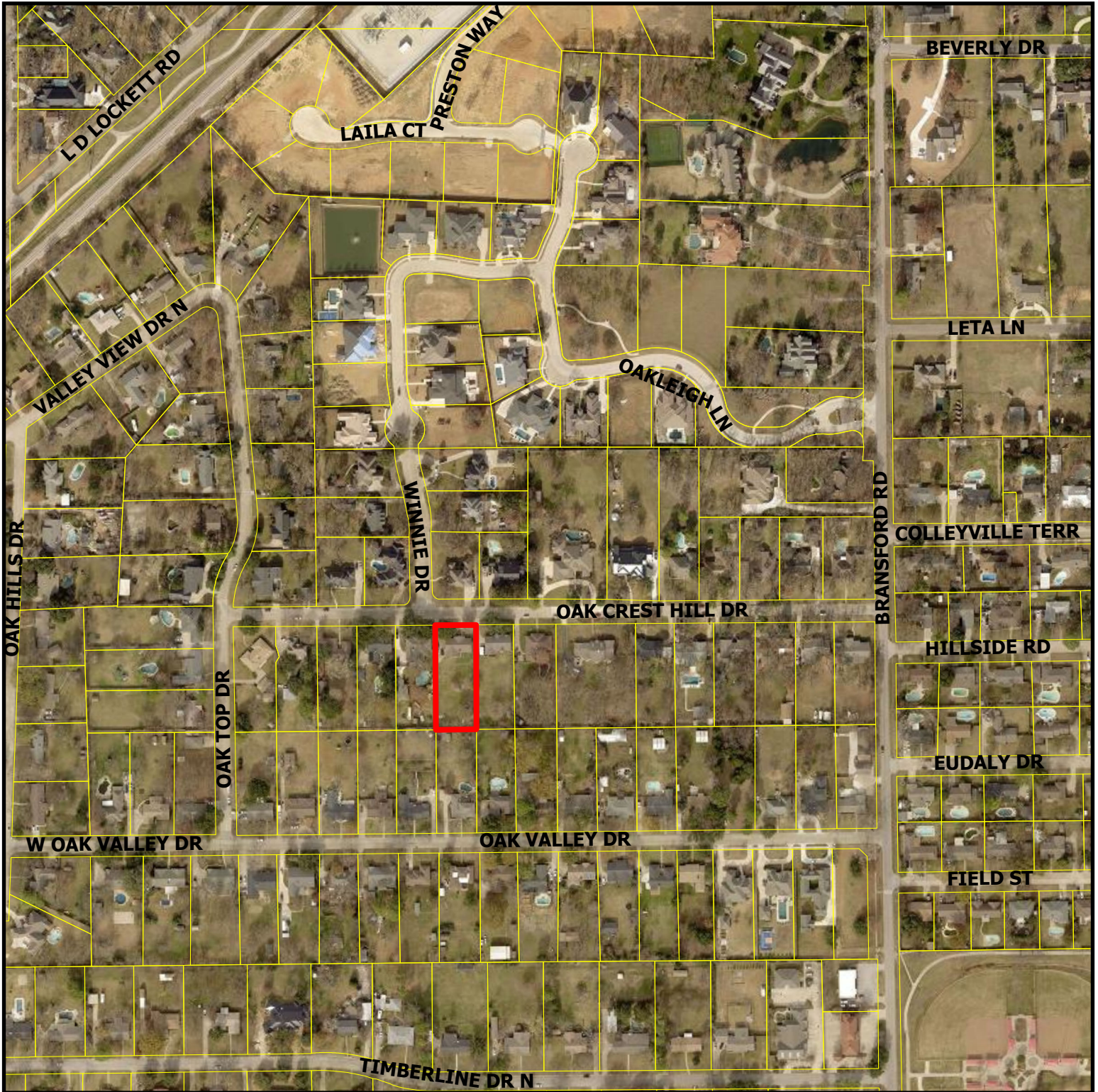
Explanation

Presentation and discussion of a Special Use Permit for an accessory building on Lot 6, Block 7, Oak Crest Hills, located at 205 Oak Crest Hill Drive, Case ZC26-003. The request is to allow for an accessory structure that does not conform to Land Development Code, Section 3.27(A)(2)(a). Accessory structures cannot exceed 4% of the aggregate lot area, which is a maximum of 1,071 square feet on the subject lot, without approval of a Special Use Permit. The proposed structure is 1,200 square feet.

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Site and Drainage Plan
5. Elevations Drawings

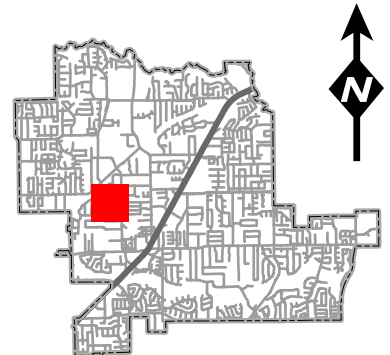
Aerial Map



ZC26-003

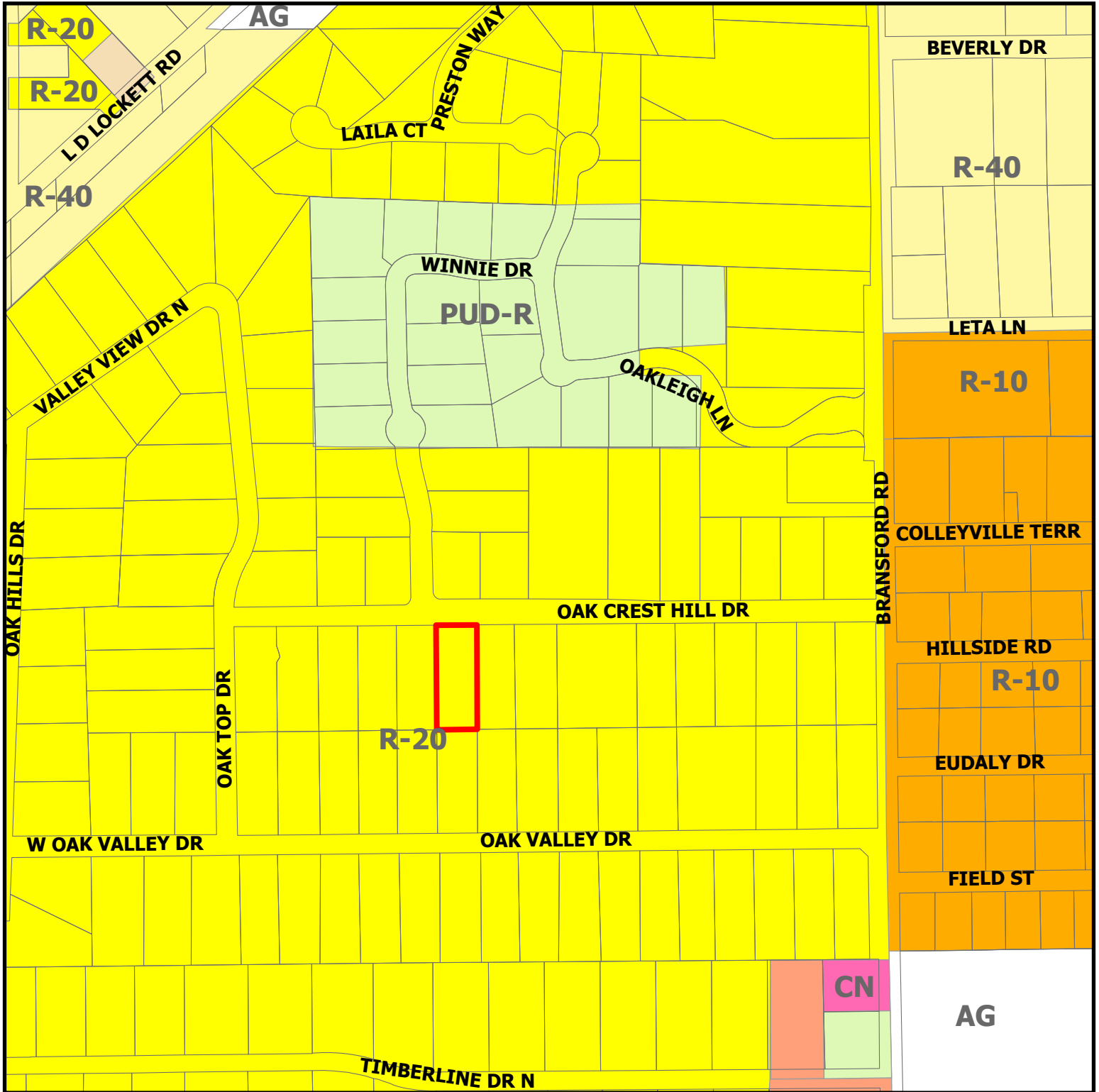
205 Oak Crest Hills Drive

 Subject Property



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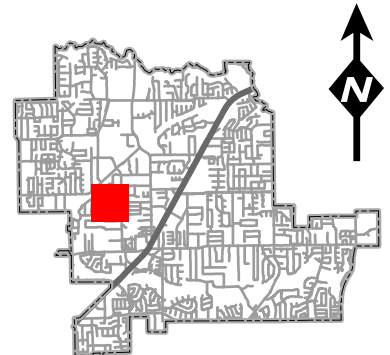
Zoning Map



ZC26-003

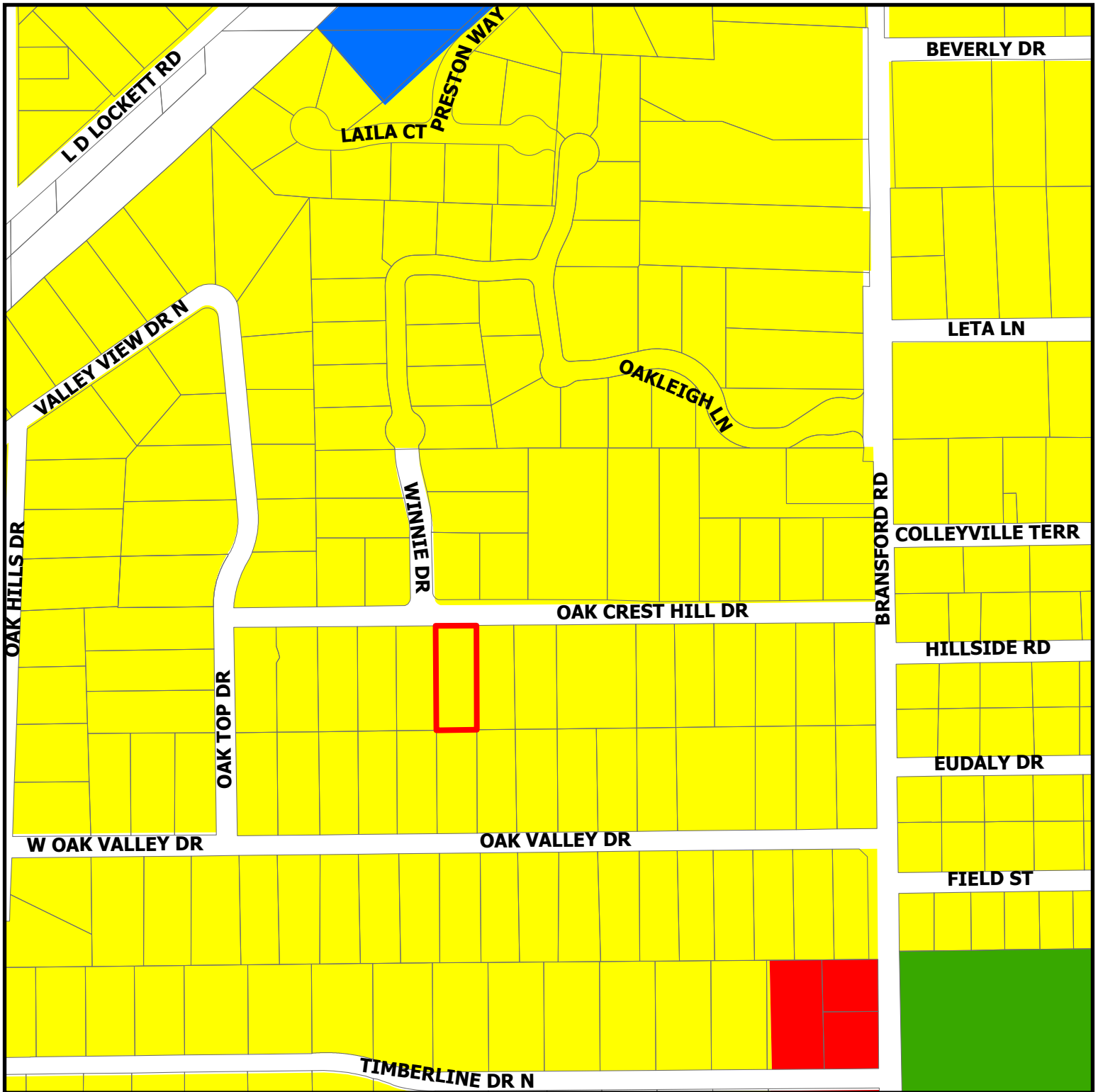
205 Oak Crest Hills Drive

 Subject Property



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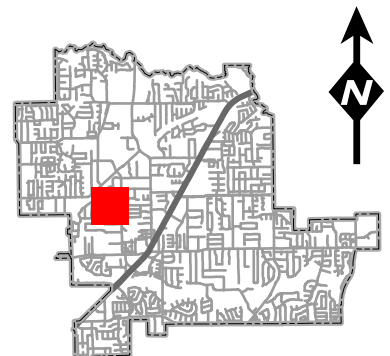
Future Land Use Map



ZC26-003

205 Oak Crest Hills Drive

- Residential
- Commercial
- Institutional
- Open Space; Parks
- Subject Property



DISCLAIMER:
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205 OAK CREST HILL ACCESSORY BUILDING ADD-ON

LOCATED AT:
205 OAK CREST HILL DR.,
COLLEYVILLE, TX 76034

PREPARED FOR:
KL CONCRETE AND CONSTRUCTION LLC
1450 AGNES N,
SPRINGTOWN, TX 76082



Project Name:

KL CONCRETE
AND
CONSTRUCTION
LLC

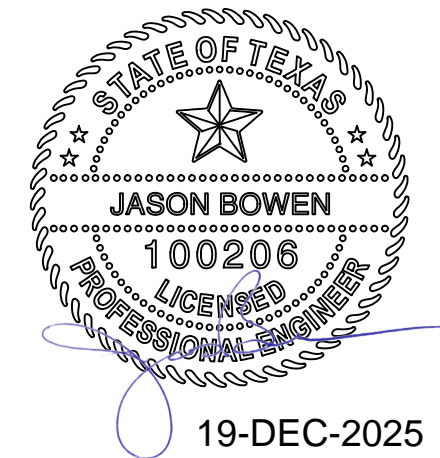
ACCESSORY
BUILDING
ADD-ON

Project Number: 25-068
Project Manager: JDB
Site Name: 205 OAK CREST
Address: 205 OAK CREST HILL DR.
COLLEYVILLE, TX

Engineer:

CIRCLE B ENGINEERED
SOLUTIONS
120 PATRICK DR
WEATHERFORD, TX 76087
TX F#22402

Seal:



Project Revisions:

No.	Description
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Issue:

Date: 2025-12-19

Dwg File: Drawing1.dwg

Drawn By: ZK

Checked By: JDB

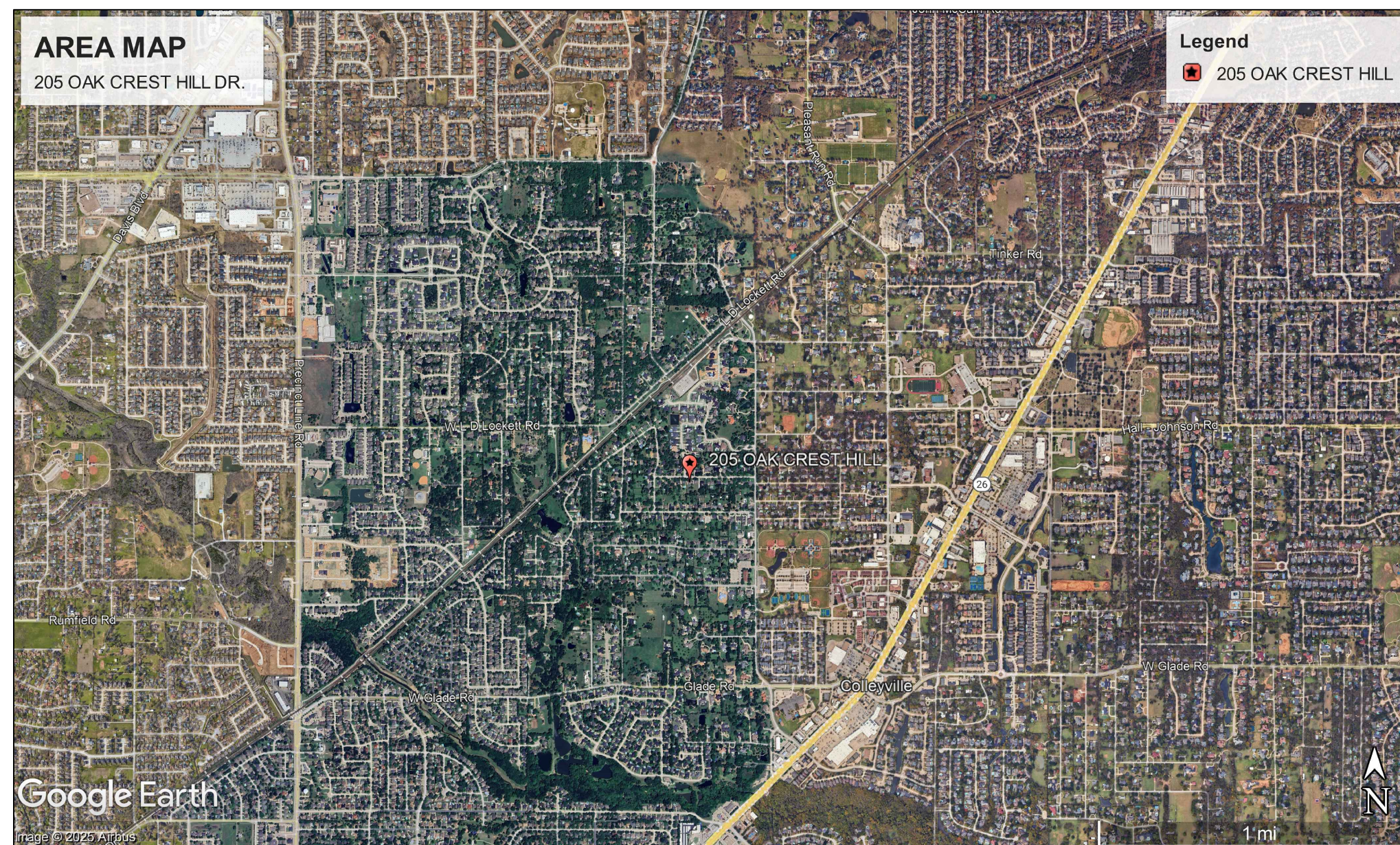
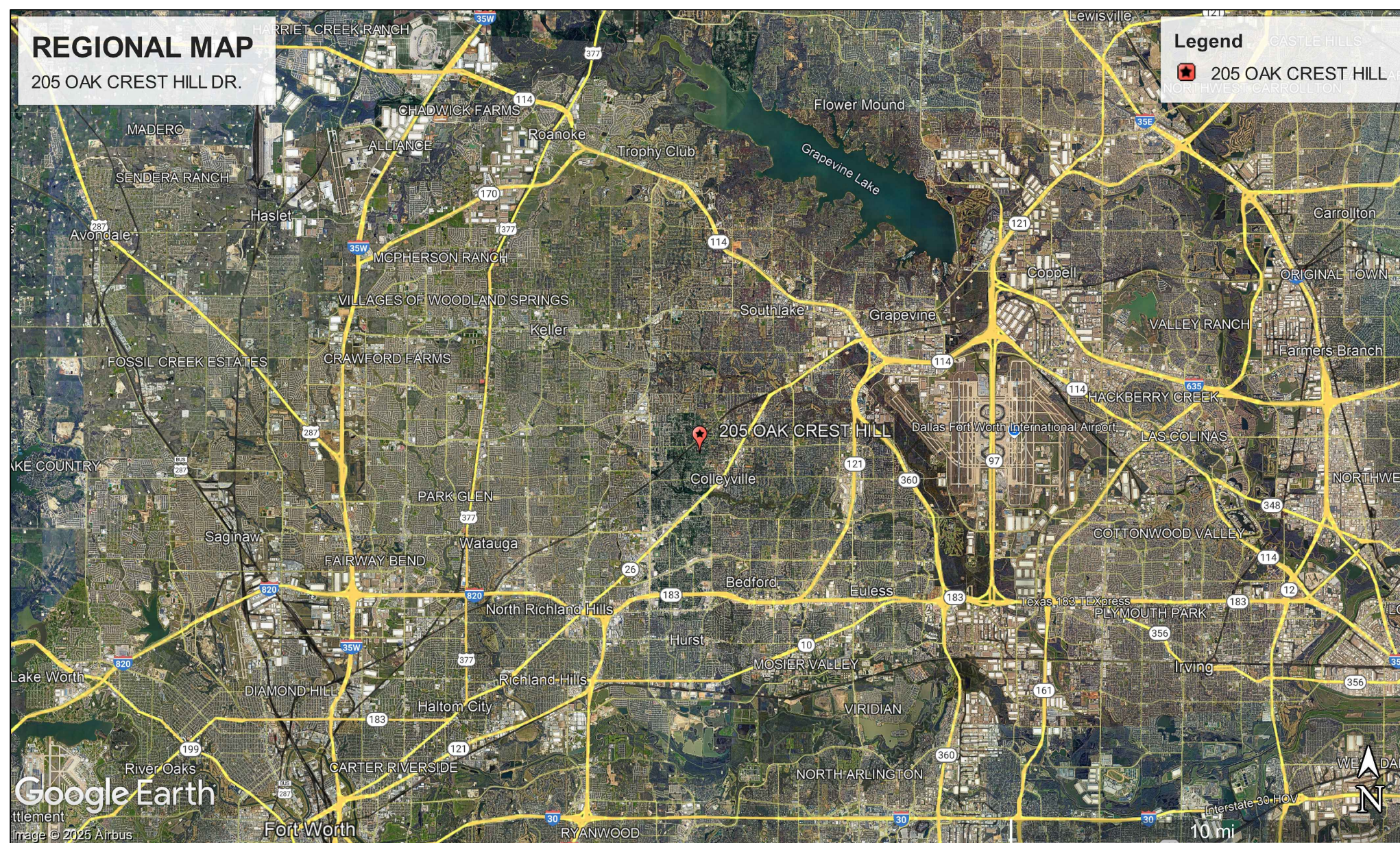
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Sheet Title:

COVER

Sheet Number:

G-001



SHEET LIST:

- G-001 COVER
- C-101 EXISTING SITE PLAN
- C-102 PROPOSED SITE PLAN
- C-103 DRAINAGE PLAN
- C-501 CONCRETE DETAILS
- S-101 ACCESSORY BUILDING FOUNDATION

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NOTES:

GENERAL:

1. REFERENCES:
 - CITY OF COLLEYVILLE ENGINEERING DESIGN STANDARDS - CHAPTER 14
 - TxDOT CCCG22 - CURB DETAIL
 - ACI 318-25, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS ("NCTCOG")
2. THE PROPERTY IS LOCATED AT 205 OAK CREST HILL DR, LOT 6 BLOCK 7 OAK CREST HILLS, LOCATED IN COLLEYVILLE, TX
3. ALL EXISTING INFORMATION IS BASED ON PUBLICLY AVAILABLE GIS DATA. CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PERFORMING THE WORK.

CITY OF COLLEYVILLE:

1. WORK SHALL NOT COMMENCE UNTIL A PERMIT HAS BEEN ISSUED. WORK INCLUDES SETTING OF FORMS, LOT GRADING, SOIL REMOVAL, SOIL DUMPING, BRUSH CLEARING, TREE REMOVAL OR DEMOLITION.
2. CONTRACTOR SHOULD VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO FOUNDATION REPAIR WORK. (TEXAS ONE CALL SYSTEM (811) OR WWW.TEXAS811.ORG). CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WHICH ARE TO REMAIN. BURIED UTILITIES SHOWN ON THE PLANS HAVE BEEN ESTABLISHED BY ON GROUND INFORMATION. LOCATIONS MAY NOT BE EXACT AND OTHER UTILITIES MAY EXIST. IT MAY BE REQUIRED TO CONTACT UTILITY PROVIDERS DIRECTLY TO CONFIRM CLEAR STATUS.
3. ALL EXISTING STRUCTURES SHALL BE PROTECTED FROM DAMAGE DURING THE MAINTENANCE PROCESS BY THE CONTRACTOR. ANY DAMAGE DONE SHALL BE REPLACED OR REPAIRED TO ORIGINAL OR BETTER CONDITIONS.
4. MINIMUM YARD REQUIREMENTS ARE 30' TO FRONT, 10' TO SIDE, AND 25' TO REAR PROPERTY LINES.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER DISCIPLINE AND SERIES DRAWINGS AND REPORT ANY DISCREPANCIES BETWEEN EACH SET OF DRAWINGS AND WITHIN EACH SET OF DRAWINGS PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBERS.
6. TEMPORARY DRAINAGE SHOULD BE INCORPORATED INTO THE STAGED CONSTRUCTION PLAN.
7. INPLACE DRAINAGE PATTERNS SHOULD BE MAINTAINED WHERE POSSIBLE.
8. PREVENT BIRDBATHS AND ENSURE PROPER DRAINAGE TO THE GUTTER/DRAINAGE PIPES.
9. ALL DRAWINGS AND DETAILS CONTAINED IN CHAPTER 15 – PUBLIC WORKS CONSTRUCTION DETAILS OF THE NCTCOG, WITH ALL AMENDMENTS THERETO, AND SHALL CONSTITUTE THE TECHNICAL SPECIFICATIONS, EXCEPT AS AMENDED BY THIS DESIGN AND THE CITY OF COLLEYVILLE LAND DEVELOPMENT CODE, AND MADE A PART THEREOF, BUT NOT PHYSICALLY BOUND WITHIN THIS DOCUMENT.
10. COLLEYVILLE MUNICIPAL CODE REGULATES NOISE CONSTRUCTION THAT IS CONSIDERED A NUISANCE. BY ORDINANCE, CONSTRUCTION IS PERMITTED FROM 7:00A.M. - 6:00P.M., MONDAY THROUGH SATURDAY, INCLUDING HOLIDAYS. CONSTRUCTION WORK IS PROHIBITED ON SUNDAYS.
11. EROSION CONTROL MUST BE MAINTAINED AT ALL TIMES THROUGHOUT THE PROJECT TO INCLUDING REMOVAL OF ANY SPOILS LEFT IN STREET

12. ALL ACTIVITY ON A SITE SHALL COMPLY WITH CITY, STATE, AND FEDERAL STATUTES FOR STORM WATER POLLUTION CONTROL.
13. ALL CONCRETE SHALL HAVE A MINIMUM THICKNESS OF SIX INCHES (6") OR SHALL MATCH EXISTING THICKNESS, WHICHEVER IS GREATER. CONCRETE SHALL HAVE A MINIMUM CEMENT CONTENT OF 5 SACKS PER CUBIC YARD OF CONCRETE, 5% ENTRAINED AIR (\pm 1.5%) AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 POUNDS PER SQUARE INCH. ALL CONCRETE SHALL ALSO INCLUDE #4 BARS ON EIGHTEEN INCH (18") CENTERS BOTH WAYS, WITH #4 SMOOTH DOWELS INTO EXISTING CONCRETE PAVING (IF APPLICABLE). ALL CONCRETE SHALL BE VIBRATED AND AN APPROVED CURING COMPOUND SHALL BE APPLIED TO THE SURFACE. ALL STEEL SHALL BE DOMESTIC (AS PER C.O.C. ITEM B1.13, STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAY, STREETS, AND BRIDGES TxDOT 1993 ITEM 440).
14. THE DRIVEWAY SHALL BEGIN AT THE STREET CURB AND EXTEND TO THE PROPERTY LINE OR TO A POINT NINE AND ONE-HALF (9.5') FEET FROM THE BACK OF THE CURB, WHICHEVER IS GREATER. THE DRIVE APPROACH SHALL BE CONSTRUCTED SUCH THAT THE HEIGHT OF THE DRIVE APPROACH AT THE PROPERTY ROW, WITH A TYPICAL NINE AND ONE-HALF (9.5') FOOT PARKWAY, SHALL BE TWO AND ONE-HALF (2-1/2") INCHES HIGHER THAN THE TOP OF THE CURB. THE TANGENCY POINT OF A DRIVEWAY CURB SHALL BE A MINIMUM OF TEN (10') FEET FROM A STORM WATER INLET.
15. DRIVEWAYS SHALL BE CONSTRUCTED WITH THE RETURN CURBS JOINING THE EDGE OF PAVEMENT AT THE STREET WITH A MINIMUM TEN-FOOT (10') RADIUS.
16. THE MAXIMUM SLOPE FROM THE EDGE OF DRIVEWAY TO THE TOP OF THE CULVERT PIPE SHALL BE 6:1. THE SLOPED AREA AROUND THE END OF THE CULVERT PIPE SHALL BE SODDED OR HYDRO-MULCHED TO RESIST EROSION.
17. THE MINIMUM CROSS SLOPE ON THE DRIVE SHALL BE 1/8 INCH PER FOOT. THE MINIMUM LONGITUDINAL SLOPE BETWEEN THE EDGE OF PAVEMENT AT THE STREET AND THE VALLEY OVER THE CULVERT PIPE SHALL BE 1/4 INCH PER FOOT.
18. ALL SIDEWALKS SHALL BE A MINIMUM OF FOUR (4') FEET IN WIDTH, OR LARGER. THE EDGE OF THE SIDEWALK OR PATHWAY SHALL GENERALLY BE PARALLEL WITH THE CURB LINE AND BE SITUATED NO MORE THAN ONE (1') FOOT FROM THE ABUTTING PROPERTY LINE. THE WIDTHS OF ALL SIDEWALKS AND PATHWAYS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE, WHICH ARE FURTHER REFERENCED IN CHAPTER 15 – NCTCOG.



Project Name:

**KL CONCRETE
AND
CONSTRUCTION
LLC**

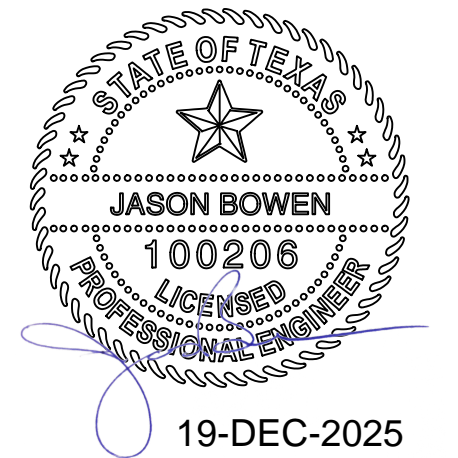
**ACCESSORY
BUILDING
ADD-ON**

Project Number: 25.068
Project Manager: JDB
Site Name: OAK CREST HILL
Address: 205 OAK CREST HILL DR
COLLEYVILLE, TX

Engineer:

**CIRCLE B ENGINEERED
SOLUTIONS**
120 PATRICK DR
WEATHERFORD, TX 76087
TX F#22402

Seal:



Project Revisions:

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Issue: -
Date: 2025-12-19
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Drawn By: MJ
Checked By: JDB

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Project Name:

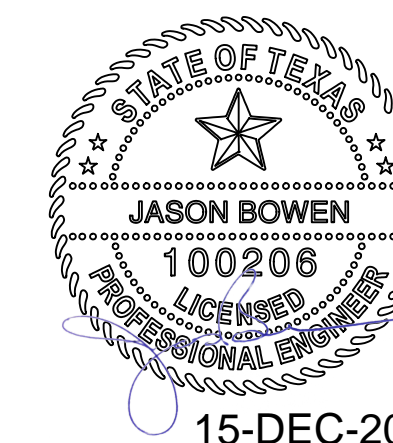
KL CONCRETE AND CONSTRUCTION LLC

ACCESSORY BUILDING ADD-ON

Project Number: 25-068
Project Manager: JDB
Site Name: 205 OAK CREST
Address: 205 OAK CREST HILL DR. COLLEYVILLE, TX

Engineer:
CIRCLE B ENGINEERED SOLUTIONS
120 PATRICK DR
WEATHERFORD, TX 76087
TX F#22402

Seal:



Project Revisions:

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Issue: -
Date: 2025-10-14
Dwg File: 25-068.KLCONC.205OCH.V2.dwg
Drawn By: ZK
Checked By: JDB

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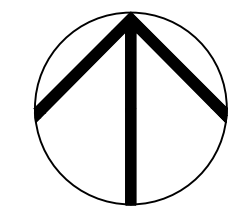
Sheet Title:
EXISTING SITE PLAN

Sheet Number:
C-101



For reduced plans scale in inches

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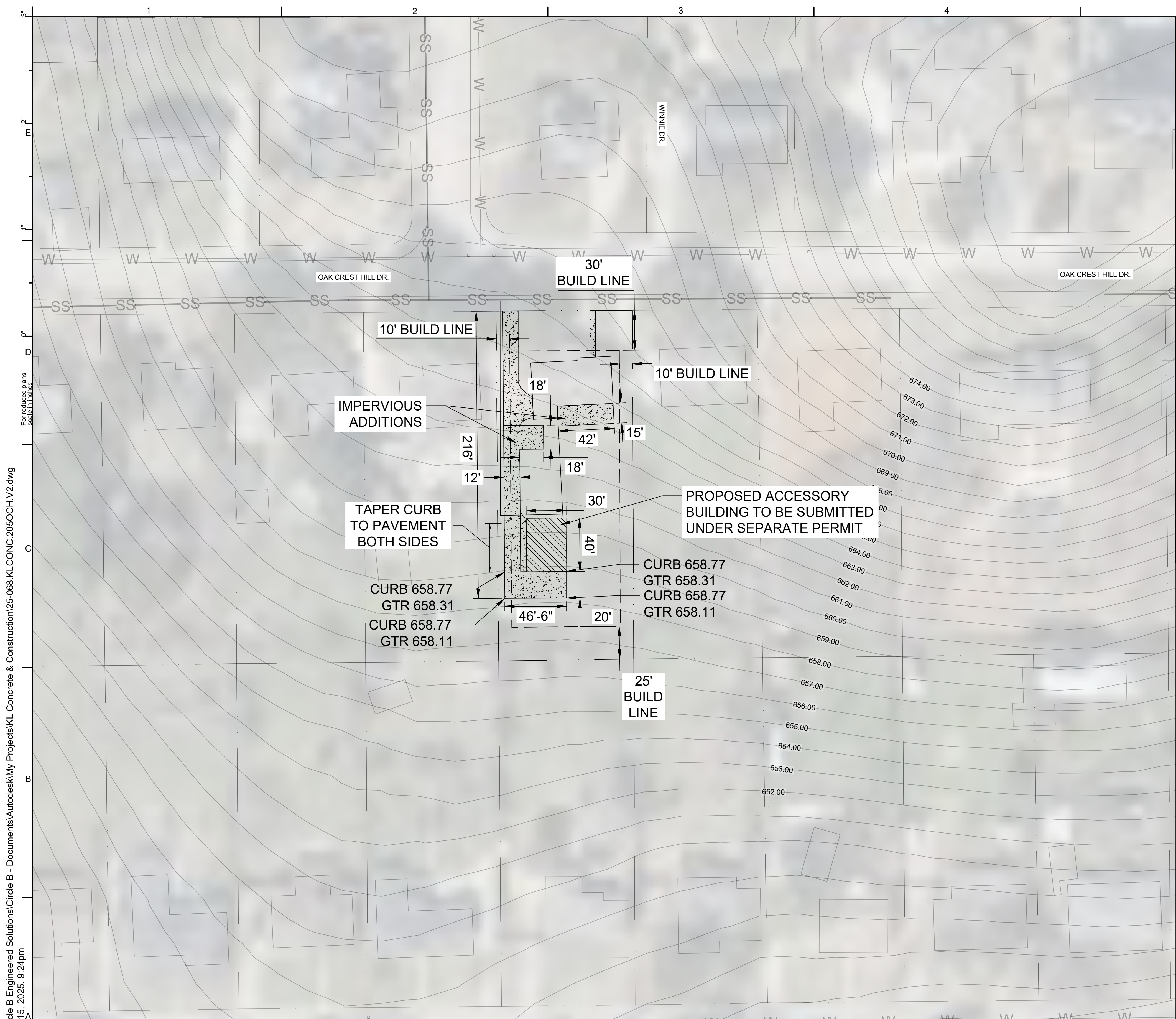


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EXISTING SITE PLAN

0 40' 80'
1" = 40'

1 2 3 4 5 6



City of Colleyville Impervious Coverage Worksheet

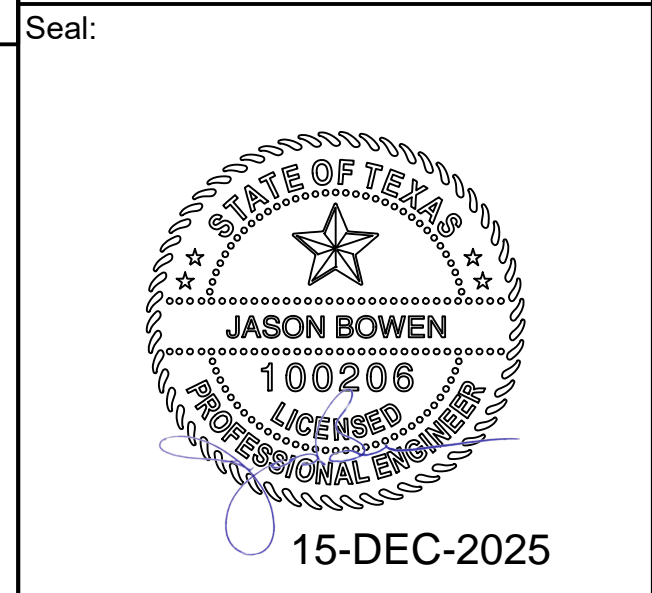
Building Square Foot		Paved + Pool/Spa Square Foot		
Existing	Dwelling + Garage	2,675	Driveway	1,541
	Covered Porch		Sidewalk	184
	Covered Patio		Uncovered Patio	
	Accessory Structures		Uncovered Deck	
	Other roofed areas		Pool/Spa (Surface area)	
			Pool/Spa Deck (Surface area)	
			Sport Court	
New	Dwelling + Garage		Driveway	2,264
	Covered Porch		Sidewalk	
	Covered Patio		Uncovered Patio	630
	Accessory Structures	1,200	Uncovered Deck	
	Other roofed areas		Pool/Spa (Surface area)	
			Pool/Spa Deck (Surface area)	
			Sport Court	
Total (Under Roof)		3,875	Total Uncovered	4,619
Total Under Roof/Lot Size		14%	Total Impervious (Under roof + Uncovered)	8,494
Lot Size (sq. feet)		26,776.6	Total Impervious/Lot Size	32%



Project Name:
KL CONCRETE AND CONSTRUCTION LLC
ACCESSORY BUILDING ADD-ON

Project Number: 25-068
 Project Manager: JDB
 Site Name: 205 OAK CREST
 Address: 205 OAK CREST HILL DR. COLLEYVILLE, TX

Engineer:
CIRCLE B ENGINEERED SOLUTIONS
 120 PATRICK DR
 WEATHERFORD, TX 76087
 TX F#22402



NOTES:

- INSTALL 8" CURB ALONG SOUTH EDGE OF PAVING WITH 15 EA EVENLY SPACED 3"Ø SCH 40 PVC PIPES FOR STORM WATER RETENTION DURING PEAK STORM.
- SLOPE PAVING 1% MINIMUM TOWARD SOUTH WITH CONTINUOUS CURB ELEVATION AROUND RETENTION BASIN UNTIL TERMINATING INTO PAVING

Project Revisions:

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Issue: -
 Date: 2025-10-14
 Dwg File: 25-068.KLCONC.205OCH.V2.dwg
 Drawn By: ZK
 Checked By: JDB

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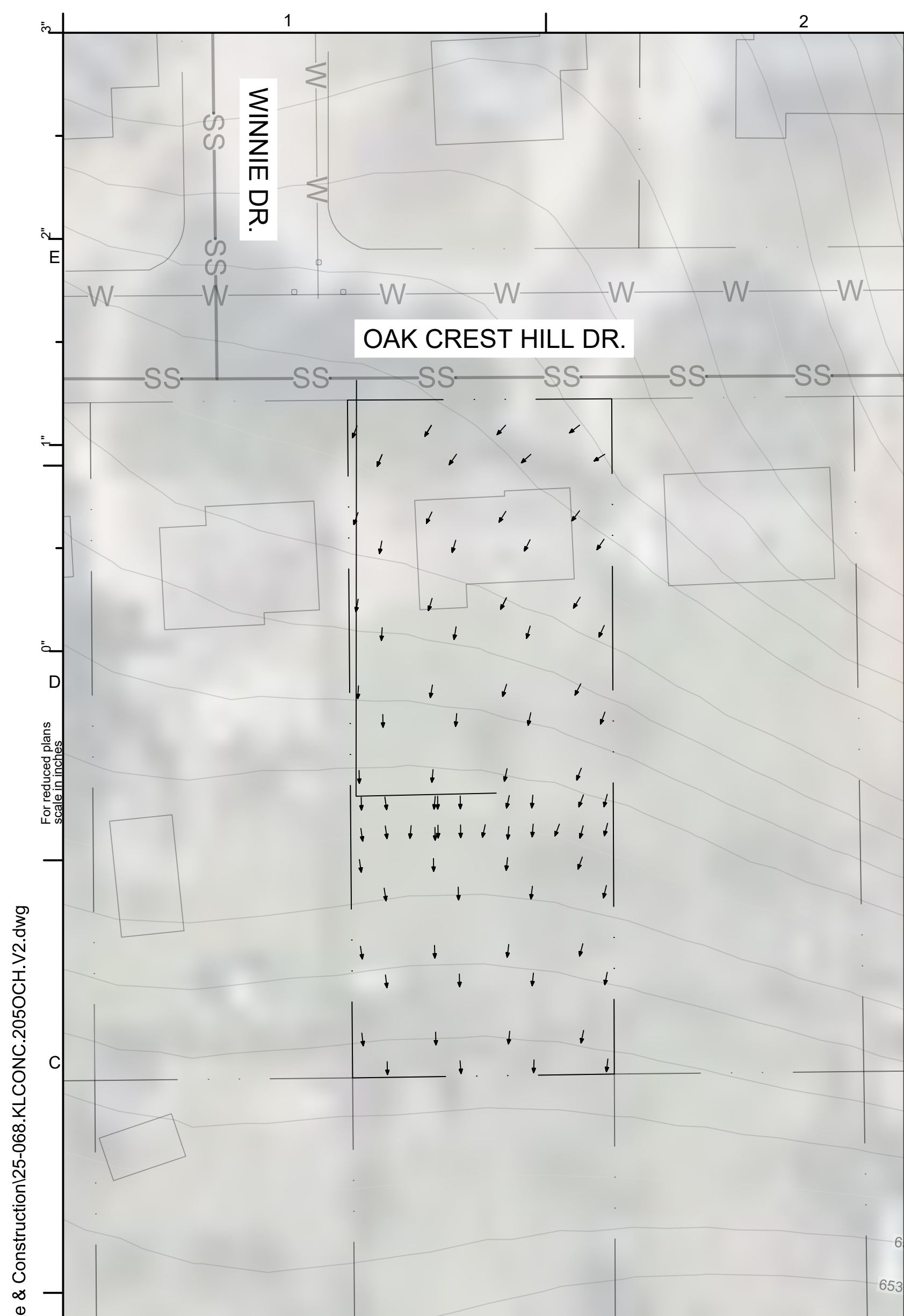
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PROPOSED SITE PLAN

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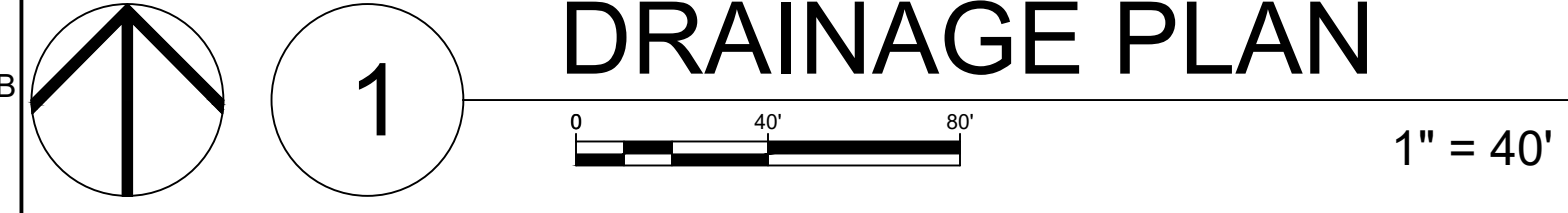
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PROPOSED SITE PLAN

1" = 40'



DRAINAGE PLAN



Circle B Engineered Solutions
 KL Concrete
 205 Oak Crest
 Impervious Cover Calculations
 Date: 12/09/25
 Page: 1 of 4

Designer: Zade Kendall
 Job: 205 Oak Crest
 Checked By: Jason Bowen
 Location: Colleyville, TX

Design Code and Standards:
 Chapter 14 - Engineering Design Standards (City of Colleyville)
 cccg22-Default: (TXDOT curb standards)

The following analysis is being performed by the Rational Method. This method is the industry standard for estimating peak discharges for small drainage areas of up to about 200 acres (80 hectares) with no significant flood storage. This method is accepted not only by the City of Colleyville, but also by the Texas Army Corps of Engineers, Federal Emergency Management Agency, and other entities.

$A_L := 26776 \text{ ft}^2$ total area of the lot $A_L = 0.615 \text{ acre}$

Existing Impervious Cover
 $A_H := 2381 \text{ ft}^2$ area of the house
 $A_{ED} := 1766.5 \text{ ft}^2$ area of existing driveway
 $T_{AE} := A_H + A_{ED} = 4147.5 \text{ ft}^2$ total area of existing impervious cover

New Impervious Cover
 $A_{AB} := 1200 \text{ ft}^2$ area of new accessory building
 $A_{ND} := 2885 \text{ ft}^2$ area of new driveway
 $T_{AN} := A_{AB} + A_{ND} = 4085 \text{ ft}^2$ total area of new impervious cover

Rational Method
 $Q = C \cdot I \cdot A$
 $C_1 := 0.3$ c - value for vegetative cover per city ordinance
 $C_2 := 0.90$ c - value for concrete cover
 $I := 9.2 \frac{\text{in}}{\text{hr}}$ intensity for 100 yr storm for Tarrant County at 15 mins

Existing Lot Runoff
 $C_E := \frac{(C_1 \cdot (A_L - T_{AE})) + (C_2 \cdot T_{AE})}{A_L} = 0.393$

$Q_E := C_E \cdot I \cdot A_L \cdot \frac{1}{\text{acre}} \cdot \frac{\text{ft}^3}{\text{s}} = 2.22 \frac{\text{ft}^3}{\text{s}}$

New Lot Runoff
 $C_N := \frac{(C_1 \cdot (A_L - (T_{AE} + T_{AN})) + (C_2 \cdot (T_{AE} + T_{AN})))}{A_L} = 0.484$

$Q_N := C_N \cdot I \cdot A_L \cdot \frac{1}{\text{acre}} \cdot \frac{\text{ft}^3}{\text{s}} = 2.74 \frac{\text{ft}^3}{\text{s}}$ $Q_A := Q_N - Q_E = 0.518 \frac{\text{ft}^3}{\text{s}}$ $\frac{Q_A}{Q_E} = 23.3\%$

Circle B Engineered Solutions
 KL Concrete
 205 Oak Crest
 Impervious Cover Calculations
 Date: 12/09/25
 Page: 2 of 4

Storage Calculations:

Option 1: using pipes for outflow
 Q difference: $Q_A = 0.518 \frac{\text{ft}^3}{\text{s}}$
 Storage volume needed for 15 min duration: $V_s := Q_A \cdot 15 \text{ min} = 465.893 \text{ ft}^3$
 back concrete of the building: $B_c := 10 \text{ ft} \cdot 42 \text{ ft} = 420 \text{ ft}^2$
 curb height required: $C_h := \frac{V_s}{B_c} = 13.311 \text{ in}$
 cross-sectional area of 3" pipe: $A_p := \pi \cdot (1.5 \text{ in})^2 = 0.049 \text{ ft}^2$
 "K" coefficient for sharp entrance pipe: $K := 0.5$
 difference between pond elev. and outlet elev.: $H := 16 \text{ in}$
 outflow rate for one pipe @ C_h (HEC RAS Manual): $O_C := K \cdot A_p \cdot \sqrt{2 \cdot g \cdot C_h} = 0.207 \frac{\text{ft}^3}{\text{s}}$
 outflow rate for one pipe @ H (HEC RAS Manual): $O_H := K \cdot A_p \cdot \sqrt{2 \cdot g \cdot H} = 0.227 \frac{\text{ft}^3}{\text{s}}$
 number of pipes needed: $\frac{Q_E}{O_H} = 9.774$ $\frac{Q_E}{O_C} = 10.716$

Option 2: using slots for outflow
 bottom length of slot: $b := 2 \text{ in}$
 top length of slot: $a := 1.5 \cdot b = 3 \text{ in}$
 cross-sectional area of slot (assuming trapezoidal): $A_s := 0.5 \cdot (a + b) \cdot C_h = 0.231 \text{ ft}^2$
 outflow rate for one slot: $O_s := K \cdot A_s \cdot \sqrt{2 \cdot g \cdot C_h} = 0.976 \frac{\text{ft}^3}{\text{s}}$
 number of slots needed: $\frac{Q_E}{O_s} = 2.276$

Option 3: double the flatwork to decrease the curb height
 storage volume needed for 15 min duration: $V_s = 465.893 \text{ ft}^3$
 doubling the width of the back concrete of the building: $B_{c3} := 20 \text{ ft} \cdot 42 \text{ ft} = 840 \text{ ft}^2$
 curb height required: $C_{h3} := \frac{V_s}{B_{c3}} = 6.656 \text{ in}$
 cross-sectional area of 3" pipe: $A_p = 0.049 \text{ ft}^2$
 "K" coefficient for sharp entrance pipe: $K = 0.5$
 difference between pond elev. and outlet elev.: $H_3 := 8 \text{ in}$
 outflow rate for one pipe @ C_{h3} (HEC RAS Manual): $O_{C3} := K \cdot A_p \cdot \sqrt{2 \cdot g \cdot C_{h3}} = 0.147 \frac{\text{ft}^3}{\text{s}}$
 outflow rate for one pipe @ H_3 (HEC RAS Manual): $O_{H3} := K \cdot A_p \cdot \sqrt{2 \cdot g \cdot H_3} = 0.161 \frac{\text{ft}^3}{\text{s}}$
 number of pipes needed: $\frac{Q_E}{O_{H3}} = 13.823$ $\frac{Q_E}{O_{C3}} = 15.155$

Circle B Engineered Solutions
 KL Concrete
 205 Oak Crest
 Impervious Cover Calculations
 Date: 12/09/25
 Page: 3 of 4

Option 4: using underground storage
 based on Caltex information sheet:
 for Contactor 100HD:
 capacity of one chamber: $C1_c := 32 \text{ ft}^3$
 number of chambers required for storage: $\#_{c1} := \frac{V_s}{C1_c} = 14.559$
 stone border width: $S_b := 12 \text{ in}$
 row Spacing: $R_s := 6 \text{ in}$
 chamber width: $C1_w := 36 \text{ in}$
 total width: $T1_w := (S_b \cdot 2) + (R_s \cdot 14) + (C1_w \cdot 15) = 54 \text{ ft}$
 chamber length: $C1_l := 8 \text{ ft}$
 total area: $C1_l \cdot T1_w = 432 \text{ ft}^2$

Recharger 180HD:
 capacity of one chamber: $C2_c := 40 \text{ ft}^3$
 number of chambers required for storage: $\#_{c2} := \frac{V_s}{C2_c} = 11.647$
 stone border width: $S_b := 12 \text{ in}$
 row Spacing: $R_s := 6 \text{ in}$
 chamber width: $C2_w := 36 \text{ in}$
 total width: $T2_w := (S_b \cdot 2) + (R_s \cdot 11) + (C2_w \cdot 12) = 43.5 \text{ ft}$
 chamber length: $C2_l := 7.33 \text{ ft}$
 total area: $C2_l \cdot T2_w = 318.855 \text{ ft}^2$

Recharger 330XLHD:
 capacity of one chamber: $C3_c := 84 \text{ ft}^3$
 number of chambers required for storage: $\#_{c3} := \frac{V_s}{C3_c} = 5.546$
 stone border width: $S_b := 12 \text{ in}$
 row Spacing: $R_s := 6 \text{ in}$
 chamber width: $C3_w := 52 \text{ in}$
 total width: $T3_w := (S_b \cdot 2) + (R_s \cdot 5) + (C3_w \cdot 6) = 30.5 \text{ ft}$
 chamber length: $C3_l := 8.5 \text{ ft}$
 total area: $C3_l \cdot T3_w = 259.25 \text{ ft}^2$

Option 3 curb check calculations:
 Curb Height: $H_3 = 8 \text{ in}$
 Curb width (TXDOT standard): $C_w := 8 \text{ in}$
 Assume curb is a retaining wall for checks:
 Water head (assume worst case): $W_h := H_3 = 8 \text{ in}$
 Unit weight of water: $\gamma_w := 62.4 \text{ pcf}$

Circle B Engineered Solutions
 KL Concrete
 205 Oak Crest
 Impervious Cover Calculations
 Date: 12/09/25
 Page: 4 of 4

Force on the curb per foot of curb: $F_w := (0.5 \cdot \gamma_w \cdot W_h^2) \cdot 1 \text{ ft} = 13.867 \text{ lbf}$
 Location of the force: $F_L := \frac{H_3}{3} = 0.222 \text{ ft}$
 Overturning moment: $M_o := F_w \cdot F_L = 3.081 \text{ ft} \cdot \text{lbf}$
 Unit weight of concrete: $\gamma_c := 150 \text{ pcf}$
 Weight of the curb per foot: $W_c := (H_3 \cdot C_w \cdot 1 \text{ ft}) \cdot \gamma_c = 66.667 \text{ lbf}$
 Internal angle of friction (assumption for clay): $\phi = 20^\circ$
 Coefficient of friction (SkyCiv Retaining wall calc): $\mu = \tan(0.67 \cdot \phi) = 0.238$
 Resistance due to friction: $R_f := W_c \cdot \mu = 15.882 \text{ lbf}$

$\frac{R_f}{F_w} = 1.145$ if $\frac{R_f}{F_w} > 1$, "Pass", "Fail" = "Pass"

End of Calculations

Circle B Engineered Solutions

Project Name:
KL CONCRETE AND CONSTRUCTION LLC
ACCESSORY BUILDING ADD-ON

Project Number: 25-068
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 TX F#22402

Seal:

 15-DEC-2025

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 Drawn By: ZK
 Checked By: JDB

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Sheet Title:
DRAINAGE PLAN

Sheet Number:
C-103

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 Monday December 15, 2025, 9:46pm

Project Name:

KL CONCRETE AND CONSTRUCTION LLC

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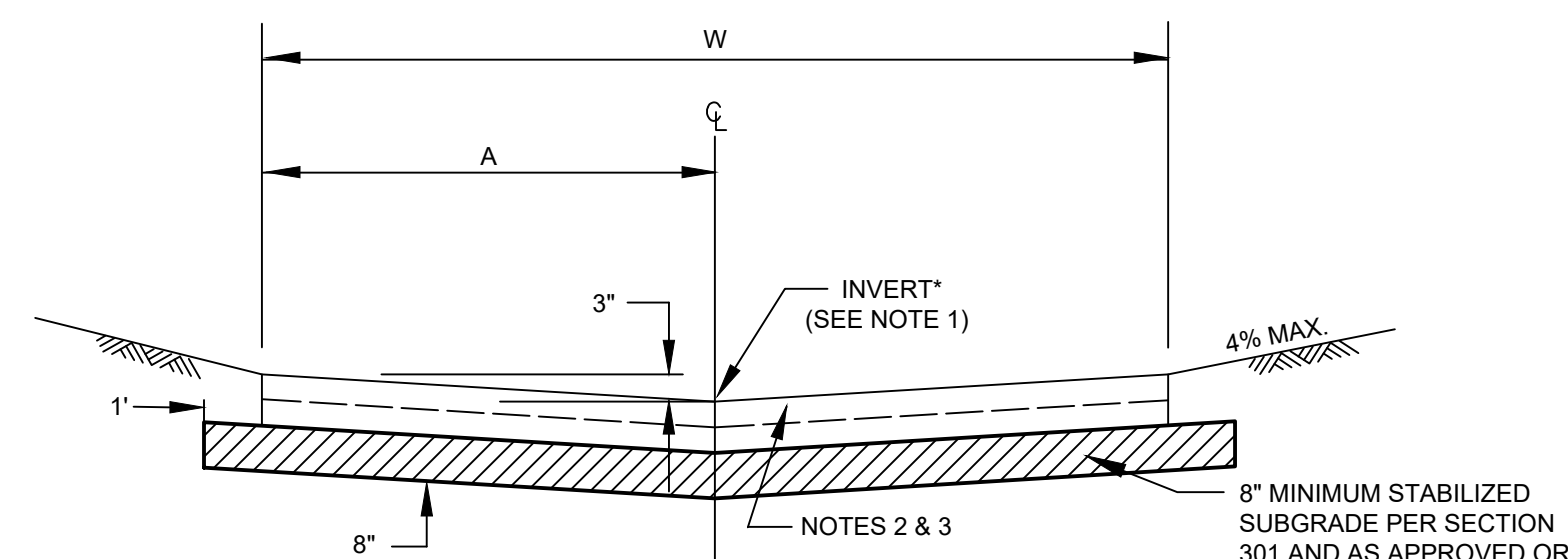
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Sheet Title:
CONCRETE DETAILS

Sheet Number:
C-501

GENERAL NOTES:

- REINFORCED CONCRETE PAVEMENT:
 - DRIVEWAY APPROACH SHALL ADHERE TO DETAILS PROVIDED ON SHEET P - 7 PROVIDED BY THE CITY OF COLLEYVILLE
 - ALL CURBS SHALL BE PLACED INTEGRAL WITH PAVEMENT UNLESS OTHERWISE APPROVED BY THE OWNER.
 - CURBS SHALL MEET THE SAME COMPRESSIVE STRENGTH AS SPECIFIED FOR THE PAVEMENT.
 - BAR LAPS SHALL BE 30 DIAMETERS (MIN).
 - REINFORCING BARS SHALL BE SUPPORTED BY 3" CHAIRS OR OTHER DEVICES APPROVED BY THE ENGINEER.
 - ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI OR GREATER AT 28 DAYS.
- SUBGRADE: (UNLESS OTHERWISE SPECIFIED BY OWNER)
 - SUBGRADE UNDER ALL PAVEMENTS SHALL BE STABILIZED TO MINIMUM DEPTH OF 6" FOR RESIDENTIAL ROAD AND 8" FOR ALL OTHERS. IF THE P.I. IS 25 OR GREATER, LIME SHALL BE USED.
 - WHERE THE IN PLACE MATERIAL HAS A P.I. OF LESS THAN 15, THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND RECOMPACTED.

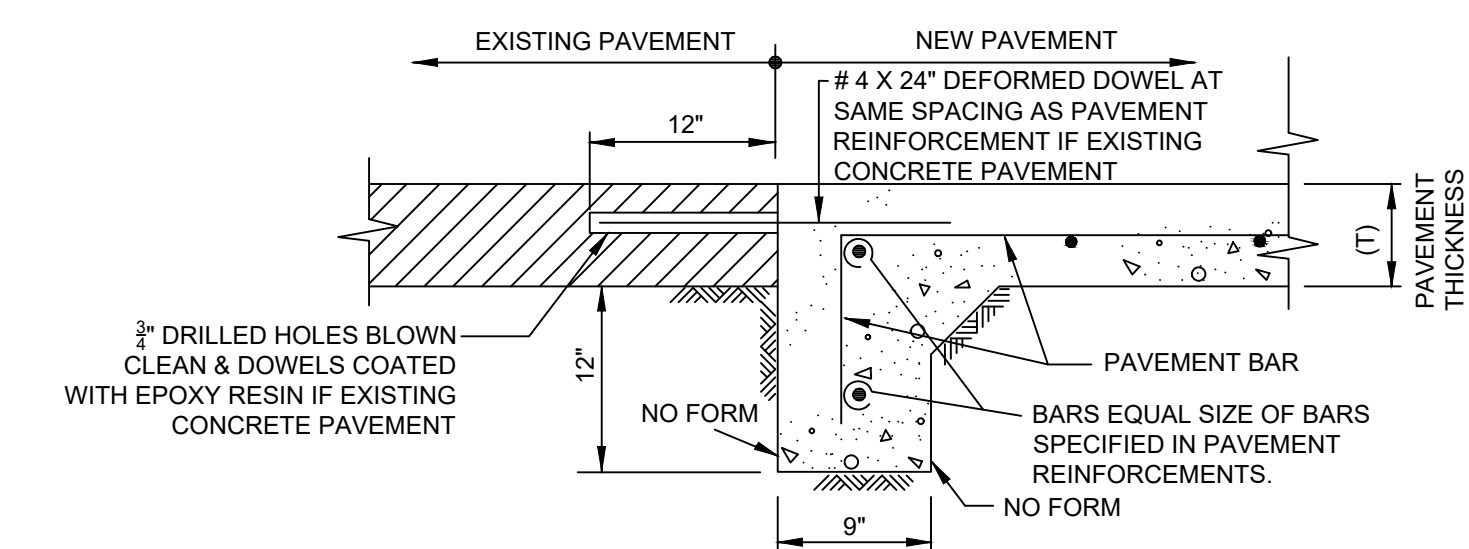


ALLEY SECTION WITHOUT CURB
N.T.S.

NOTES:

- CROWN SECTION MAY BE USED IN LIEU OF INVERT WITH PROVISION OF AN ADEQUATE DRAINAGE DESIGN AND APPROVED BY OWNER.
- REINFORCED WITH NO. 4 BARS AT 18" C-C BOTH WAYS.
- ALTERNATIVE SUBGRADE, THICKNESS, AND STEEL MAY BE UTILIZED WITH MORE DETAILED STUDY AND ANALYSIS AND AS APPROVED BY OWNER.
- EXPANSION JOINTS TO BE PLACED AT INTERSECTION AND NOT TO EXCEED 300' BETWEEN JOINTS.

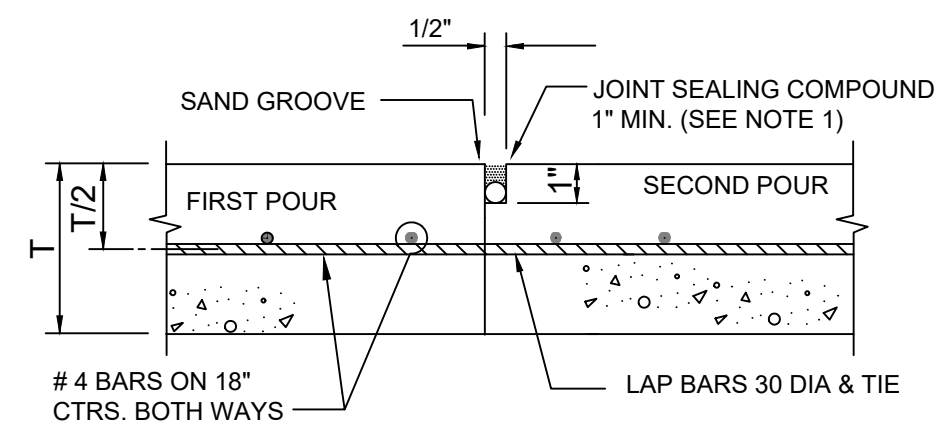
DRIVE WIDTH (W)	A	B
10'	5'	2' - 6"
12'	6'	2' - 6"
16'	8'	2' - 6"
20'	10'	2' - 6"



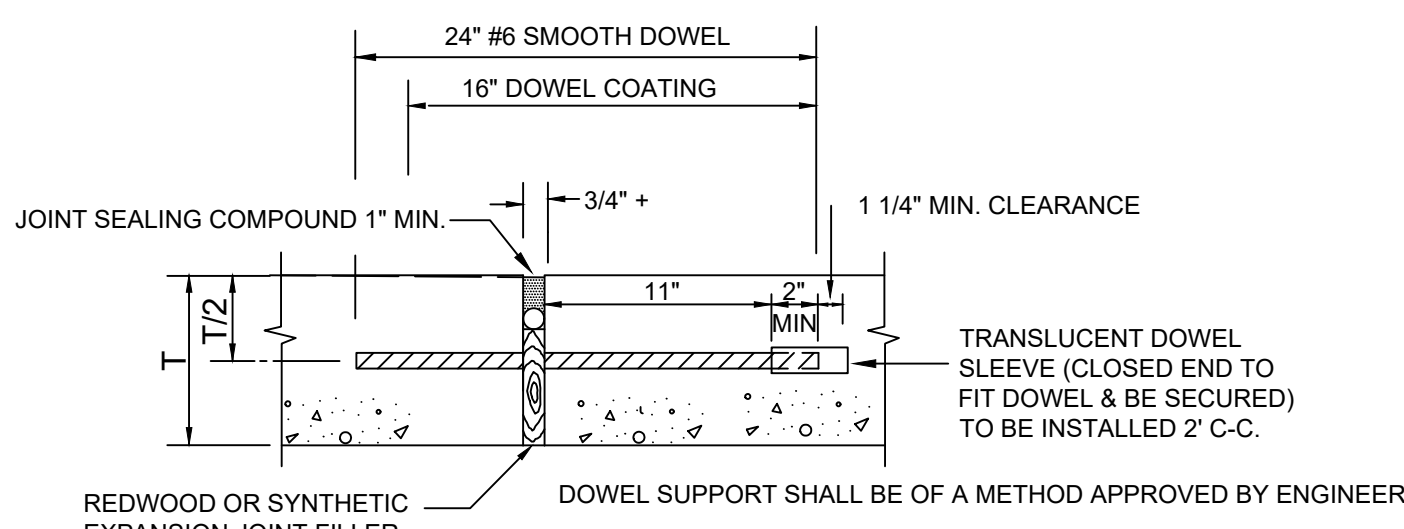
HEADER AT EXISTING PAVEMENT
N.T.S.

NOTES:

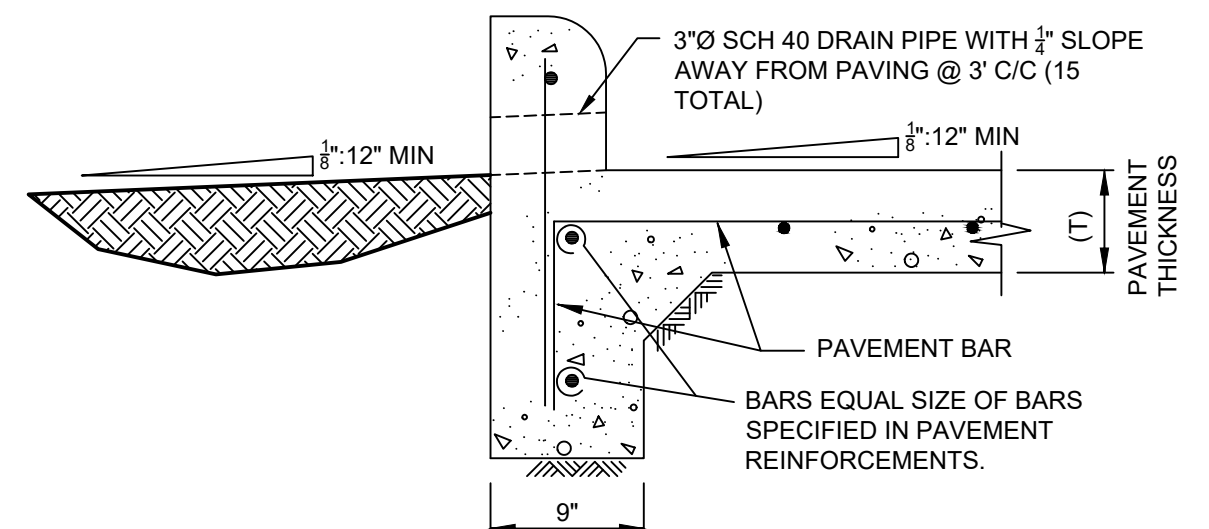
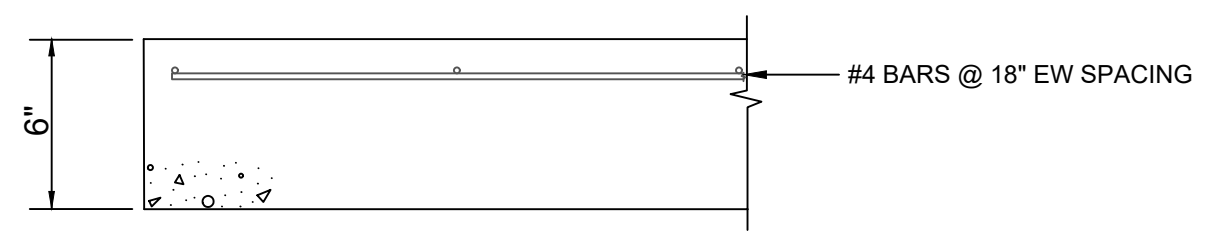
- PAVEMENT BARS TO BE BENT DOWN INTO HEADER.
- HEADER AND PAVEMENT TO BE MONOLITHIC.



CONSTRUCTION JOINT
N.T.S.



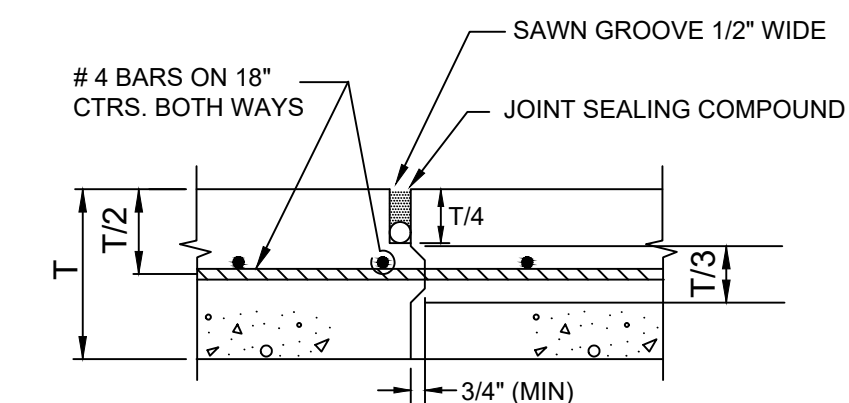
EXPANSION JOINT
(SPACED 600 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)



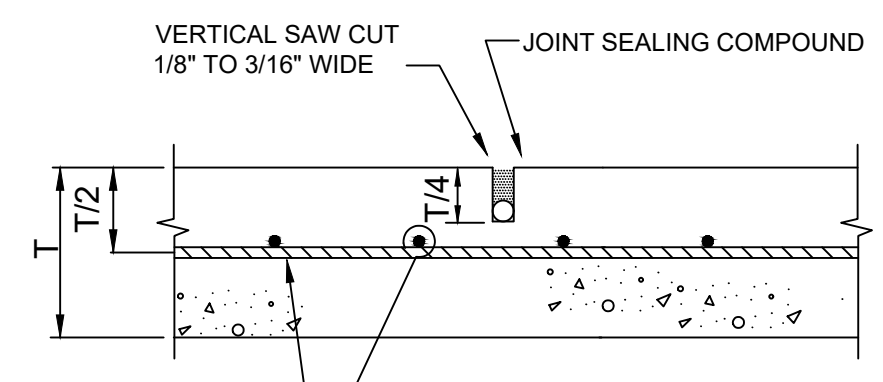
CURB W/DRAINAGE PORTS
N.T.S.

NOTES:

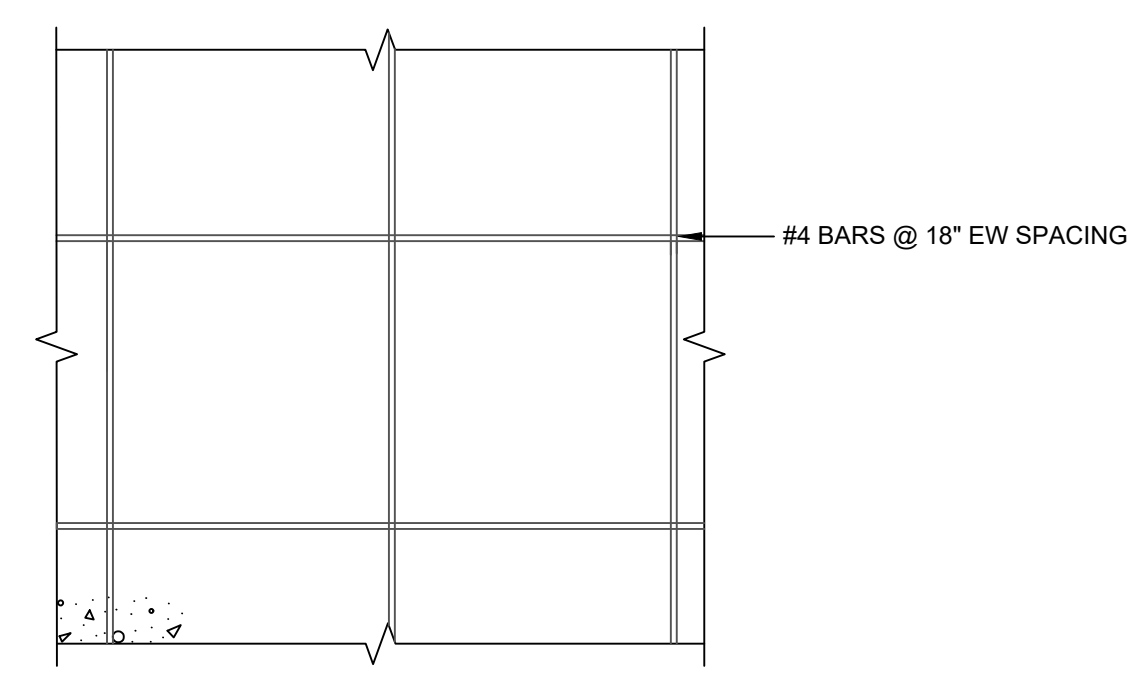
- DRAIN PIPES TO BE 3" SCH 40 PVC



KEYWAY JOINT
(FOR PAVEMENT THICKNESS > 6")
N.T.S.



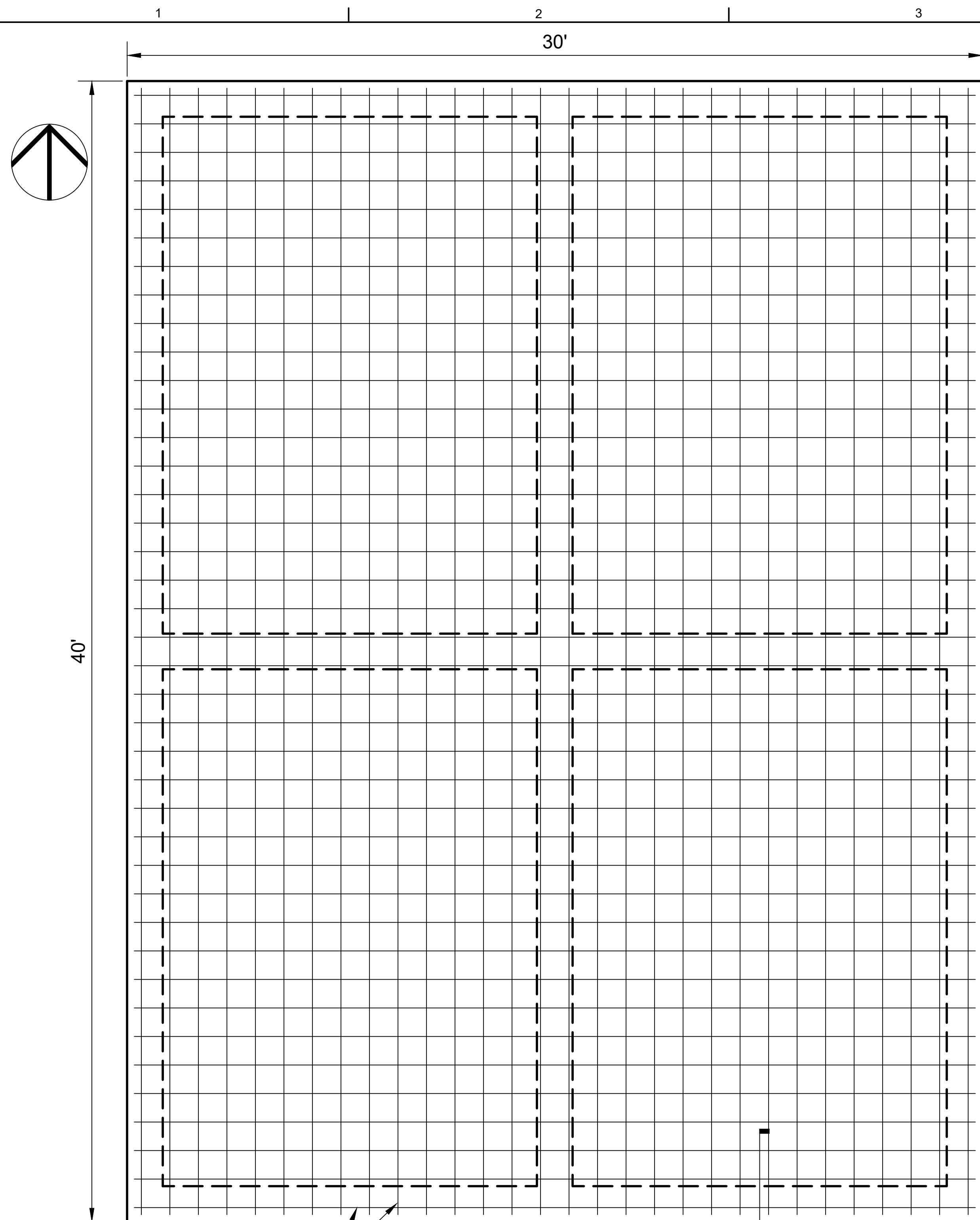
SAWN CONTRACTION JOINT
N.T.S.



DRIVEWAY DETAILS
N.T.S.

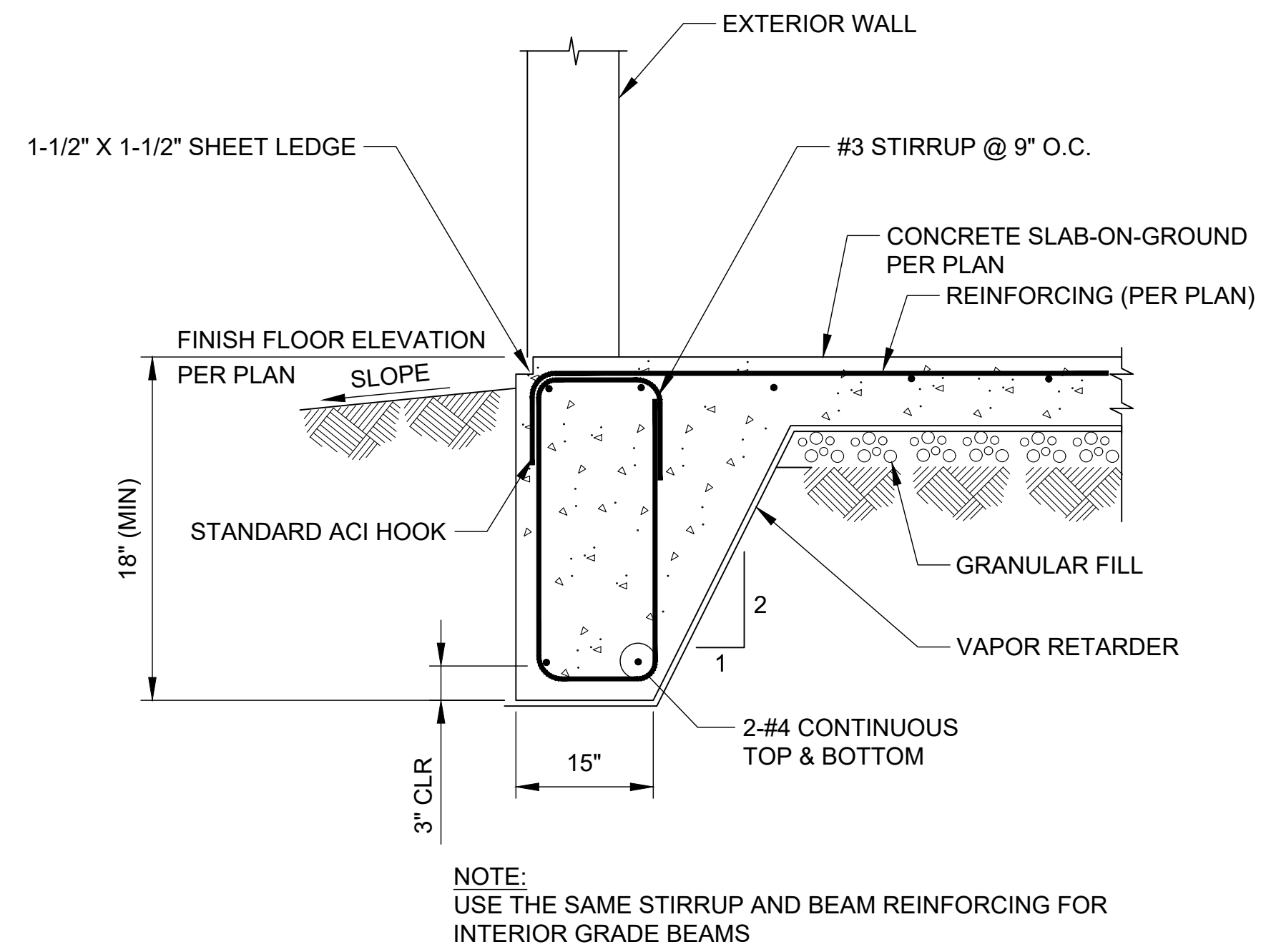
C:\Users\bowen\OneDrive\Documents\Autodesk\My Projects\KL Concrete & Construction\25-068.KLCONC.205OCH.V2.dwg Monday December 15, 2025 9:24pm

For reduced plans scale in inches



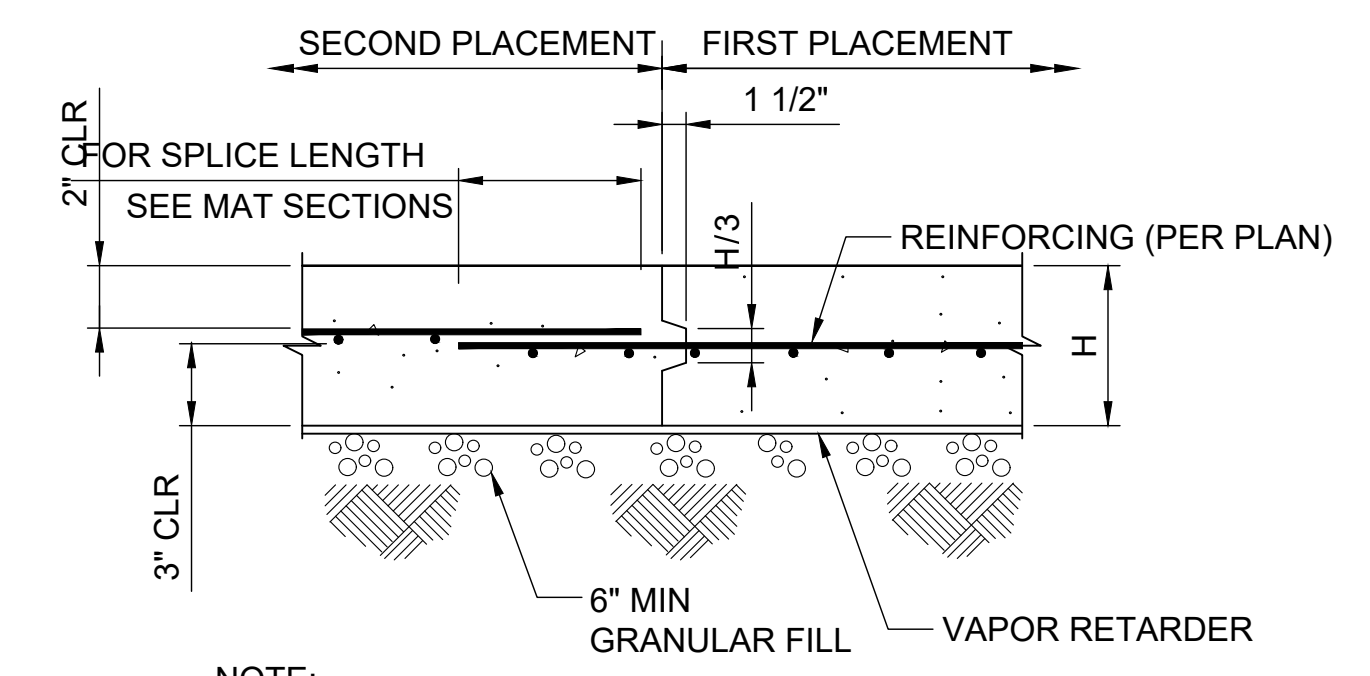
#4 @ 12" EW

- NOTES:**
1. FINISHED FLOOR ELEVATION OF ACCESSORY BUILDING SHOULD BE 6" HIGHER THAN CURB AROUND CONCRETE RETENTION BASIN.
 2. GRADE BEAM DEPTH SHOWN IS A MINIMUM THAT CAN BE INCREASED TO ACCOMODATE GRADING AROUND THE SITE.
 3. FOLLOW METAL BUILDING SUPPLIERS PLANS FOR ANCHORS AND COLUMN LOCATIONS. ADJUST GRADE BEAMS AS NEEDED TO ALIGN WITH METAL BUILDING FRAME LINES.
 4. CONTRACTOR TO ADJUST FINISHED FLOOR AS SHOWN ON METAL BUILDING SUPPLIERS DRAWINGS TO INCLUDE THRESHOLDS AND OVERHEAD DOOR BASE.



NOTE:
USE THE SAME STIRRUP AND BEAM REINFORCING FOR INTERIOR GRADE BEAMS

1 SLAB-ON-GROUND GRADE BEAM
NTS



NOTE:
MAXIMUM 80 FEET BETWEEN CONSTRUCTION JOINTS AND 72 HOURS MINIMUM BETWEEN ADJACENT PLACEMENTS. CONTRACTOR MAY ADD ADDITIONAL JOINTS AS COORDINATED WITH ENGINEER

2 SLAB-ON-GROUND
NTS



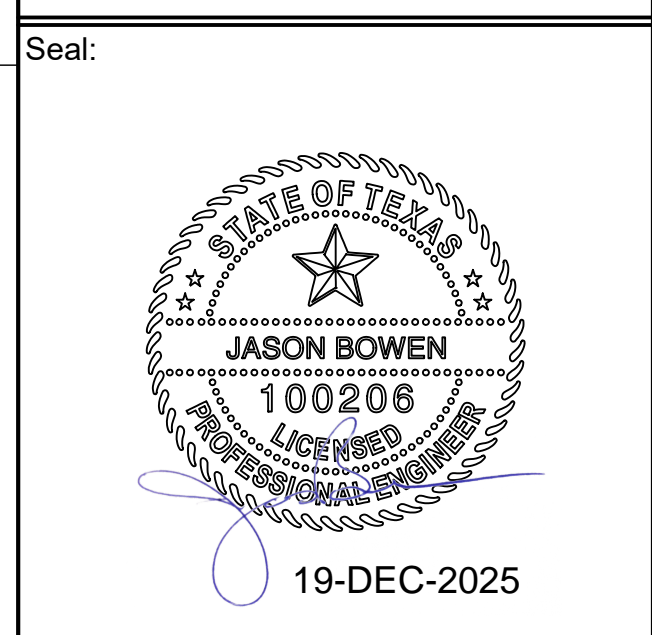
Project Name:

KL CONCRETE AND CONSTRUCTION LLC

ACCESSORY BUILDING ADD-ON

Project Number: 25.068
Project Manager: JDB
Site Name: OAK CREST HILL
Address: 205 OAK CREST HILL DR COLLEYVILLE, TX

Engineer:
CIRCLE B ENGINEERED SOLUTIONS
120 PATRICK DR
WEATHERFORD, TX 76087
TX F#22402



Project Revisions:

Issue:	Date:	Drawn By:	Checked By:
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

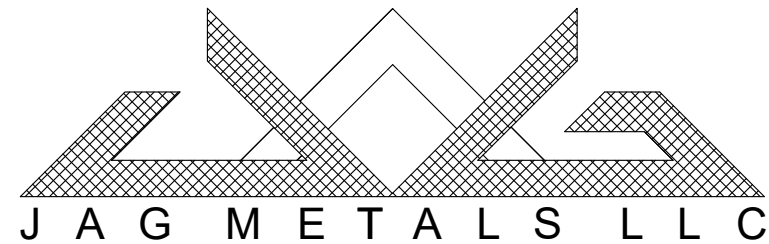
Issue: -
Date: 2025-12-19
Dwg File: Drawing1.dwg
Drawn By: MJ
Checked By: JDB

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Sheet Title:
PLAN VIEW

Sheet Number:
S-101

C:\Users\jbowen\AppData\Local\Temp\BGPLOT_25388\Drawing1.dwg Friday December 19, 2025 12:27:am



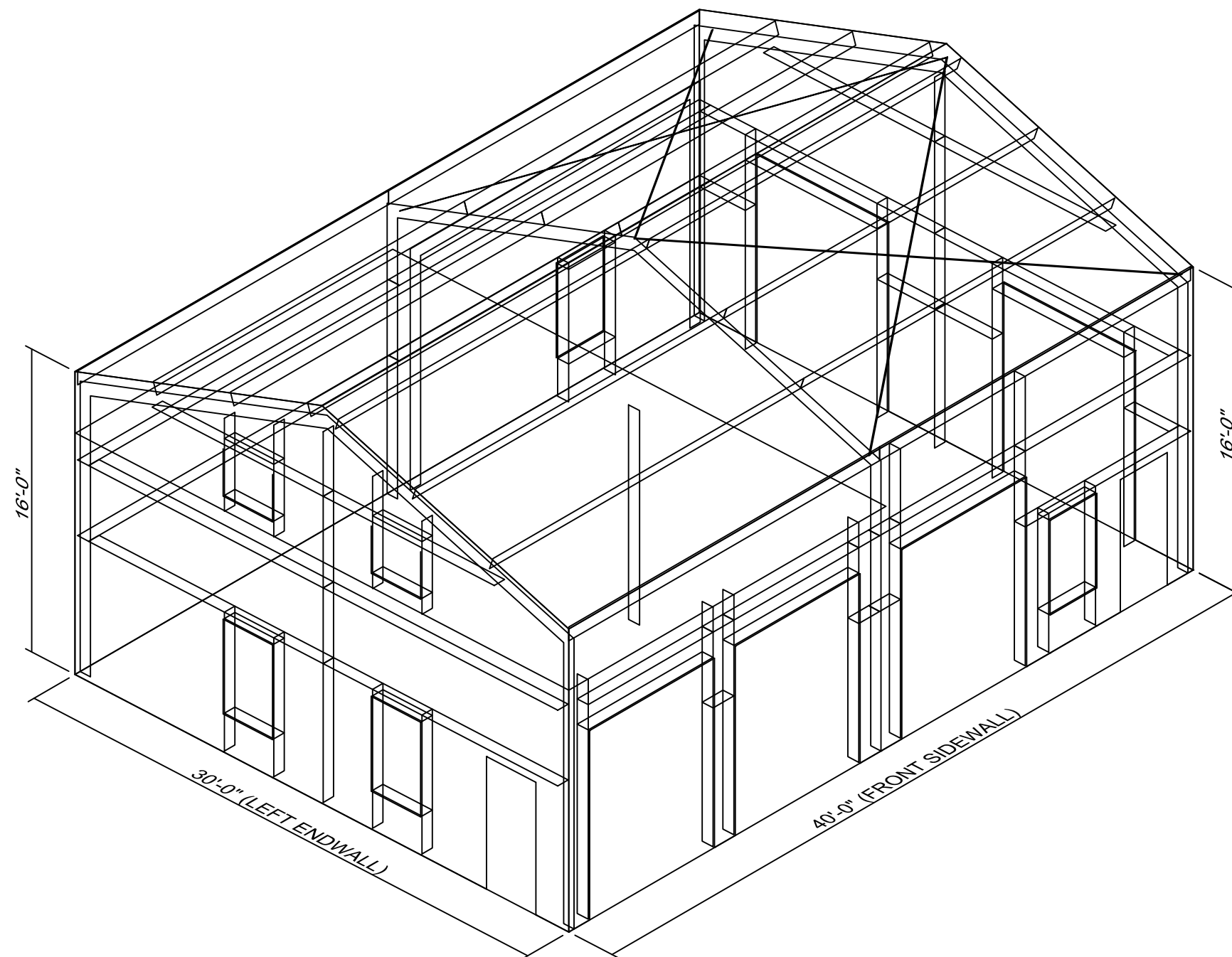
BELL SHOP

205 OAK CREST HILL
COLLEYVILLE, TX 76034



DRAWING INDEX

COVER SHEET & GENERAL NOTES (CA)	STRUCTURAL DETAILS (SSD)
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SC2 - GENERAL NOTES	SSD2 - STRUCTURAL DETAILS 2
	SSD3 - STRUCTURAL DETAILS 3
<u>ANCHOR BOLTS & REACTIONS (SA)</u>	SSD4 - STRUCTURAL DETAILS 4
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SA2 - ANCHOR BOLT DETAILS	SSD6 - STRUCTURAL DETAILS 6
SA3 - REACTIONS	
	<u>SHEETING AND TRIM DETAILS (SSHD)</u>
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SP2 - RIGID FRAMELINE 1	SSHD3 - DETAILS 3
SP3 - RIGID FRAMELINE 2	SSHD4 - DETAILS 4
SP3 - RIGID FRAMELINE 3	
SP3 - RIGID FRAMELINE 4	<u>TRIM PROFILE DETAILS (STD)</u>
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SP3 - RIGID FRAMELINE 6	STD2 - TRIM PROFILES 1
	STD3 - TRIM PROFILES 1
	STD4 - TRIM PROFILES 1
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SS5 - FRAMELINE A	SFA3 - SCREWS
SS6 - FRAMELINE B	SFA4 - ACCESSORIES
SS7 - FRAMELINE C	
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<u>EXTERIOR SHEETING (SSH)</u>	SR1 - PRI. AND SEC. NUTS AND BOLTS
SSH1 - ROOF SHEETING	SR2 - SCREWS, FASTENERS & SEALANTS
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SSH3 - SHEETING FRAMELINE 2	SR4 - BRACING INSTALLATION
SSH4 - SHEETING FRAMELINE 3	SR5 - ROOF PANEL INSTALLATION
SSH5 - SHEETING FRAMELINE A	SR6 - PBR PANEL INSTALLATION
SSH6 - SHEETING FRAMELINE B	SR7 - ENDWALL PANEL INSTALLATION
SSH7 - SHEETING FRAMELINE C	SR8 - SECONDARY PUNCHES AND LAPS
	SR9 - DOOR AND WINDOW TRIM DETAIL
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SM1 - FLOOR FRAMING FRAMELINE 1	SR11 - ENDWALL HORIZ. PANEL INSTL.
	SR12 - PBR HORIZ. / VERT PANEL INSTL.



JOB ID: **8043R3.0**

CUSTOMER: KL CONCRETE & CONST.
1450 AGNES NORTH
SPRINGTOWN, TX 76082

PROJECT: BELL SHOP
205 OAK CREST HILL
COLLEYVILLE, TX 76034

DRAWING DATE: 12/20/25

DRAWING STATUS:

FOR CONSTRUCTION
FINAL DRAWINGS USED FOR ERECTION PURPOSES

SEALED SET / PERMIT
NOT TO BE USED FOR ERECTION PURPOSES

FOR APPROVAL
NOT TO BE USED FOR ERECTION PURPOSES

REVISIONS:

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SCALING: NOT TO SCALE

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DRAWN BY: GB CHECKED BY: BG/FB ENG. BY: JK

SEAL

12-20-2025

SHEET **SC1**

SPLICE PLATE & BOLT TABLE

Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP1	4	4	0		A325	3/4"	1 3/4"	6"	3/8"	1'-3 1/4"

PERIMETER BEAM BOLT TABLE

ID	Qty	Type	Dia	Length
P1	4	A325	3/4"	1 3/4"
P2	2	A325	3/4"	1 3/4"

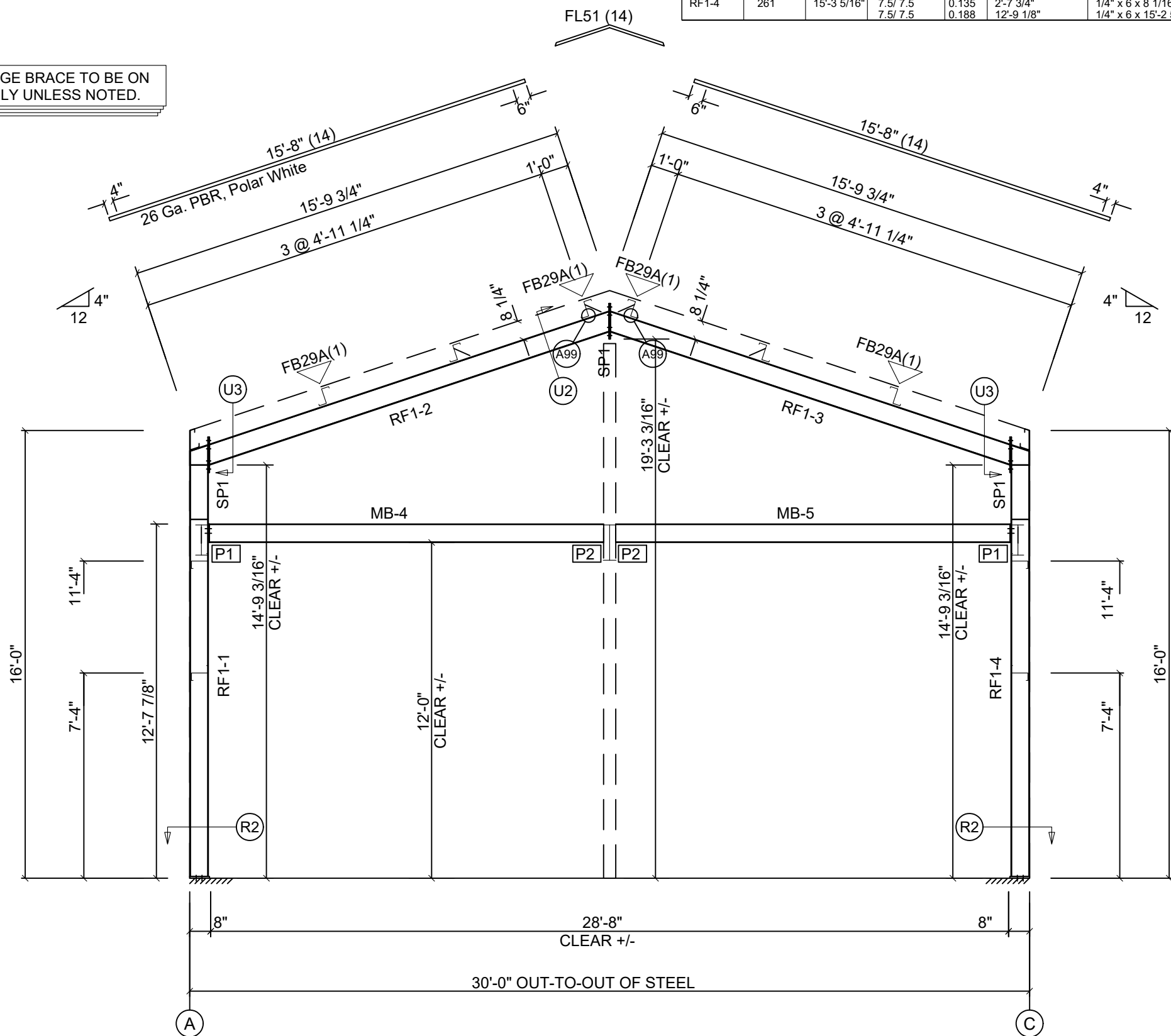
NOTE: ALL FLANGE BRACE TO BE ON ONE SIDE ONLY UNLESS NOTED.

MEMBER TABLE

Mark	Weight	Length	Web Depth Start/End	Web Plate Thick	Web Plate Length	Outside Flange Thk x W x Length	Inside Flange Thk x W x Length
RF1-1	261	15'-3 5/16"	7.5/ 7.5	0.188	12'-9 1/8"	1/4" x 6 x 15'-2 5/16"	1/4" x 6 x 14'-5 3/16"
RF1-2	215	15'-1 3/16"	8.0/ 8.0	0.135	15'-3 1/16"	1/4" x 5 x 15'-0 5/16"	1/4" x 5 x 15'-0 5/16"
RF1-3	217	15'-1 3/16"	8.0/ 8.0	0.135	15'-3 1/16"	1/4" x 5 x 15'-0 5/16"	1/4" x 5 x 15'-0 5/16"
RF1-4	261	15'-3 5/16"	7.5/ 7.5	0.135	2'-7 3/4"	1/4" x 6 x 8 1/16"	1/4" x 6 x 14'-5 3/16"

BEAM TABLE

Mark	Part	Length
MB-4	W10X12	14'-1 7/16"
MB-5	W10X12	14'-1 7/16"



RIGID FRAME ELEVATION: FRAME LINE 1

REF. VER. TB0125.1FAB

JAG METALS L.L.C.
 (817) 599-5241 www.jagmetalsllc.com
 1815 Banks Drive Weatherford, TX 76087

JOB ID: **8043R3.0**

CUSTOMER: **KL CONCRETE & CONST.**
 1450 AGNES NORTH
 SPRINGTOWN, TX 76082

PROJECT: **BELL SHOP**
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034

DRAWING DATE: **12/20/25**

DRAWING STATUS

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DRAWN BY: **GB** CHECKED BY: **BG/FB** ENG. BY: **JK**

SEAL

12-20-2025

JALAL KETABI
 82419
 LICENSED PROFESSIONAL ENGINEER

SHEET **SP1**

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP1	4	4	0	A325	3/4"	2"	6"	1/2"	1'-3 1/4"
SP2	4	4	0	A325	3/4"	1 3/4"	6"	3/8"	1'-3 1/4"

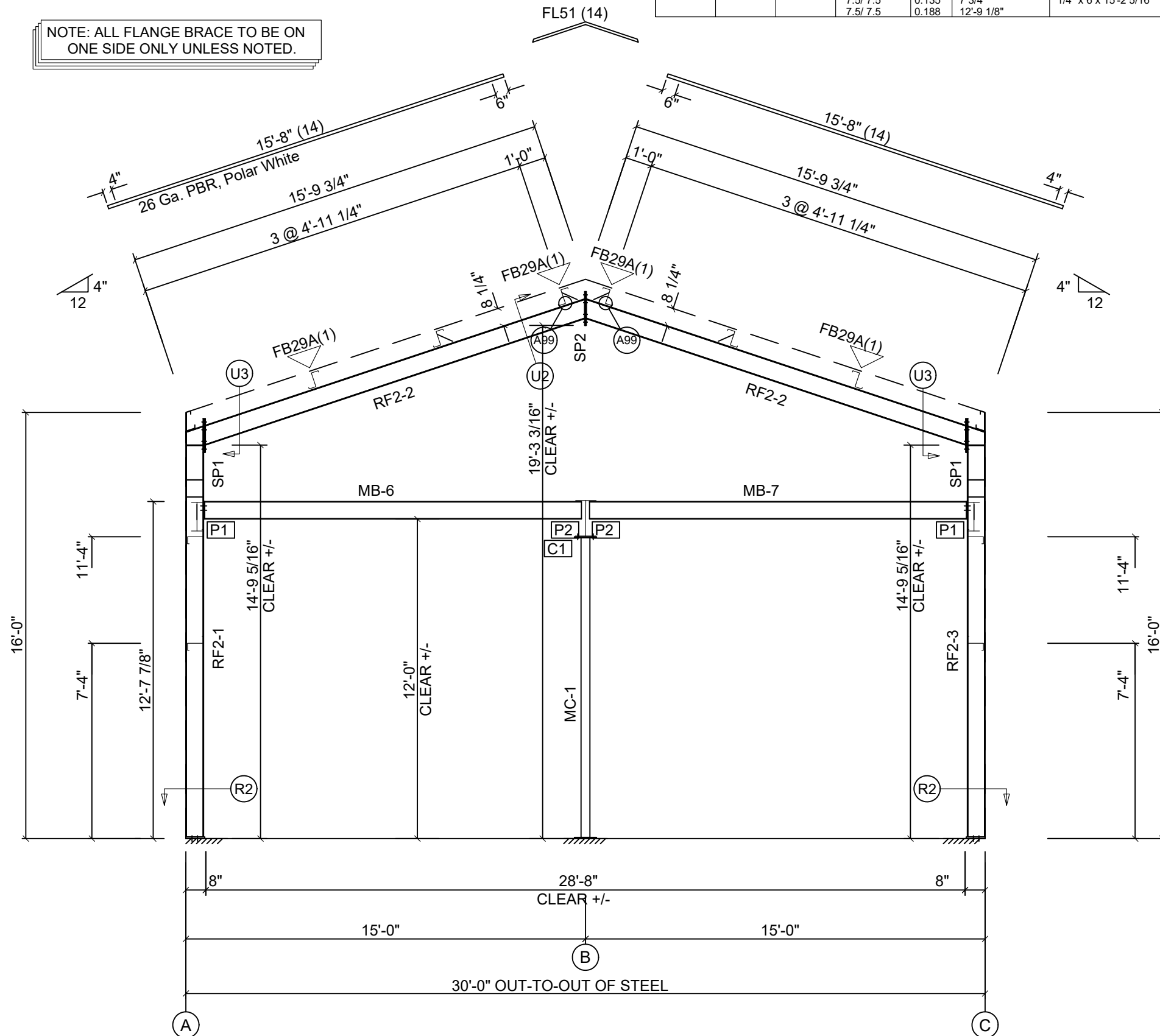
PERIMETER BEAM BOLT TABLE				
ID	Qty	Type	Dia	Length
P1	4	A325	3/4"	1 3/4"
P2	2	A325	3/4"	1 3/4"

SUPPORT COLUMN BOLT TABLE				
ID	Qty	Type	Dia	Length
C1	4	A325	5/8"	1 3/4"

NOTE: ALL FLANGE BRACE TO BE ON ONE SIDE ONLY UNLESS NOTED.

MEMBER TABLE								
Mark	Weight	Length	Web Depth		Web Plate		Outside Flange Thk x W x Length	Inside Flange Thk x W x Length
			Start/End	Thick	Length			
RF2-1	268	15'-3 5/16"	7.5/ 7.5	0.188	12'-9 1/8"	7 3/4"	1/4" x 6 x 15'-2 5/16"	1/4" x 6 x 14'-5 3/16"
RF2-2	217	15'-1 1/16"	7.5/ 7.5	0.135	2'-0"	7 3/4"	1/4" x 6 x 8 1/16"	
			8.0/ 8.0	0.135	15'-2 13/16"	2'-0"	1/4" x 5 x 15'-0 1/16"	1/4" x 5 x 15'-0 1/16"
RF2-3	272	15'-3 5/16"	7.5/ 7.5	0.250	2'-0"	7 3/4"	1/4" x 6 x 8 1/16"	1/4" x 6 x 14'-5 3/16"
			7.5/ 7.5	0.135	7 3/4"	12'-9 1/8"	1/4" x 6 x 15'-2 5/16"	

BEAM TABLE		
Mark	Part	Length
MC-1	T4040125	11'-4"
MB-6	W10X12	14'-2 3/16"
MB-7	W10X12	14'-2 3/16"



RIGID FRAME ELEVATION: FRAME LINE 2

REF. VER. TB0125.1FAB

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JOB ID: **8043R3.0**

CUSTOMER: **KL CONCRETE & CONST.**
 1450 AGNES NORTH
 SPRINGTOWN, TX 76082

PROJECT: **BELL SHOP**
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034

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DRAWN BY: **GB** CHECKED BY: **BG/FB** ENG. BY: **JK**

SEAL

12-20-2025

STATE OF TEXAS
JALAL KETABI
 82419
 LICENSED PROFESSIONAL ENGINEER

SHEET **SP2**

SPOCKET & BOL TABLE									
Mark	Qty Top	Qty Bot	Int	Type	Dia	Length	Width	Thick	Length
SP1	4	4	0	A325	3/4"	1 3/4"	6"	3/8"	1'-3 1/4"

MEMBER TABLE							
Mark	Weight	Length	Web Depth Start/End	Web Plate Thick	Web Plate Length	Outside Flange Thk x W x Length	Inside Flange Thk x W x Length
RF3-1	235	15'-3 5/16"	7.5/ 7.5	0.135	15'-4 7/8"	1/4" x 6 x 15'-2 5/16"	1/4" x 6 x 14'-5 3/16"
RF3-2	215	15'-1 3/16"	8.0/ 8.0	0.135	15'-3 1/16"	1/4" x 5 x 15'-0 5/16"	1/4" x 5 x 15'-0 5/16"
RF3-3	217	15'-1 3/16"	8.0/ 8.0	0.135	15'-3 1/16"	1/4" x 5 x 15'-0 5/16"	1/4" x 5 x 15'-0 5/16"
RF3-4	239	15'-3 5/16"	7.5/ 7.5	0.135	15'-4 7/8"	1/4" x 6 x 15'-2 5/16"	1/4" x 6 x 14'-5 3/16"

REF. VER. TB0125.1FAB

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 1450 AGNES NORTH
 SPRINGTOWN, TX 76082

PROJECT: **BELL SHOP**
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034

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DRAWN BY: **GB** CHECKED BY: **BG/FB** ENG. BY: **JK**

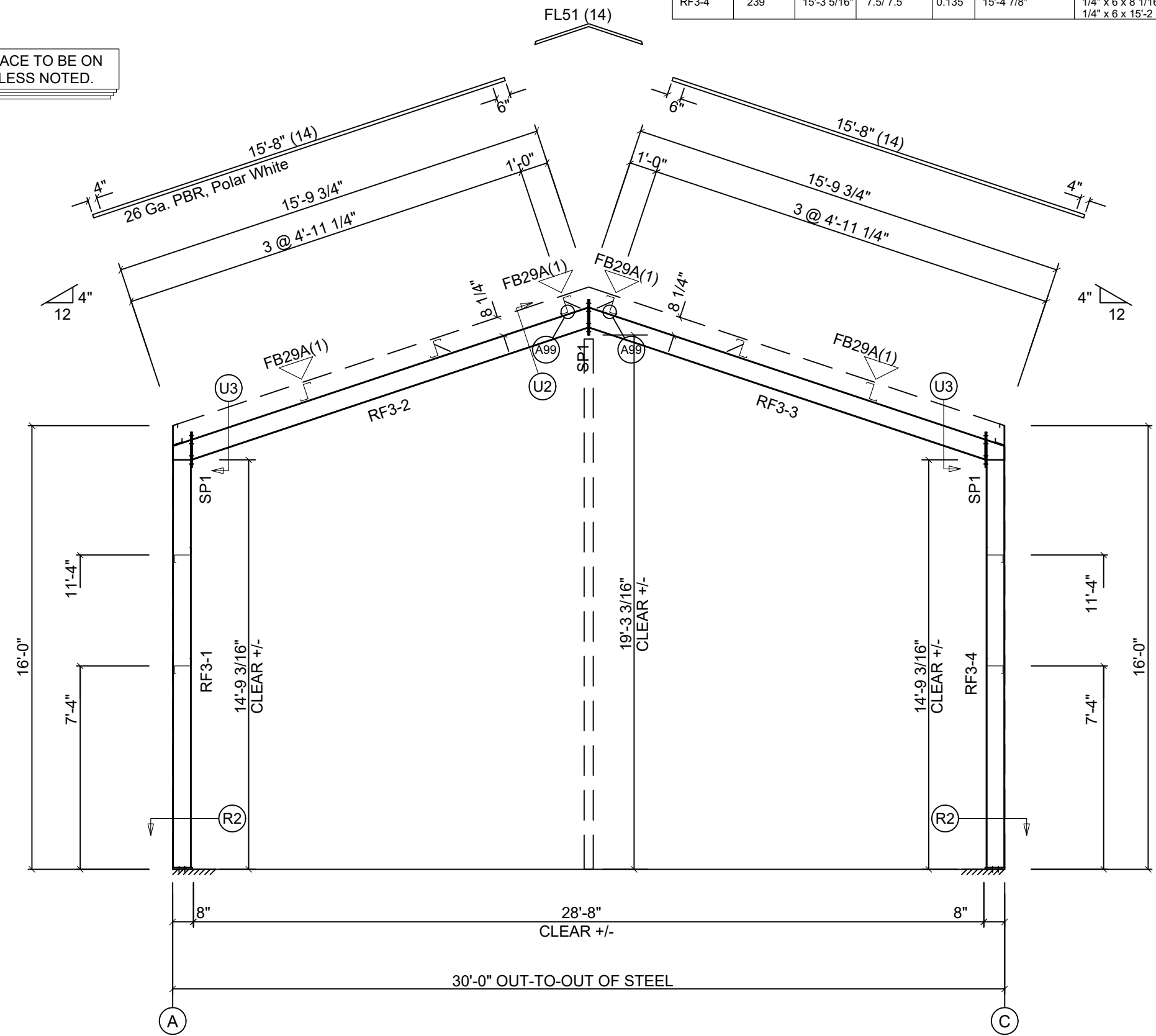
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12-20-2025

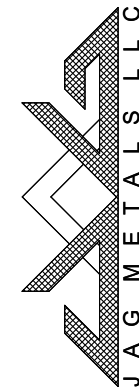
STATE OF TEXAS
JALAL KETABI
 82419
 LICENSED PROFESSIONAL ENGINEER

SHEET **SP3**

NOTE: ALL FLANGE BRACE TO BE ON ONE SIDE ONLY UNLESS NOTED.



RIGID FRAME ELEVATION: FRAME LINE 3



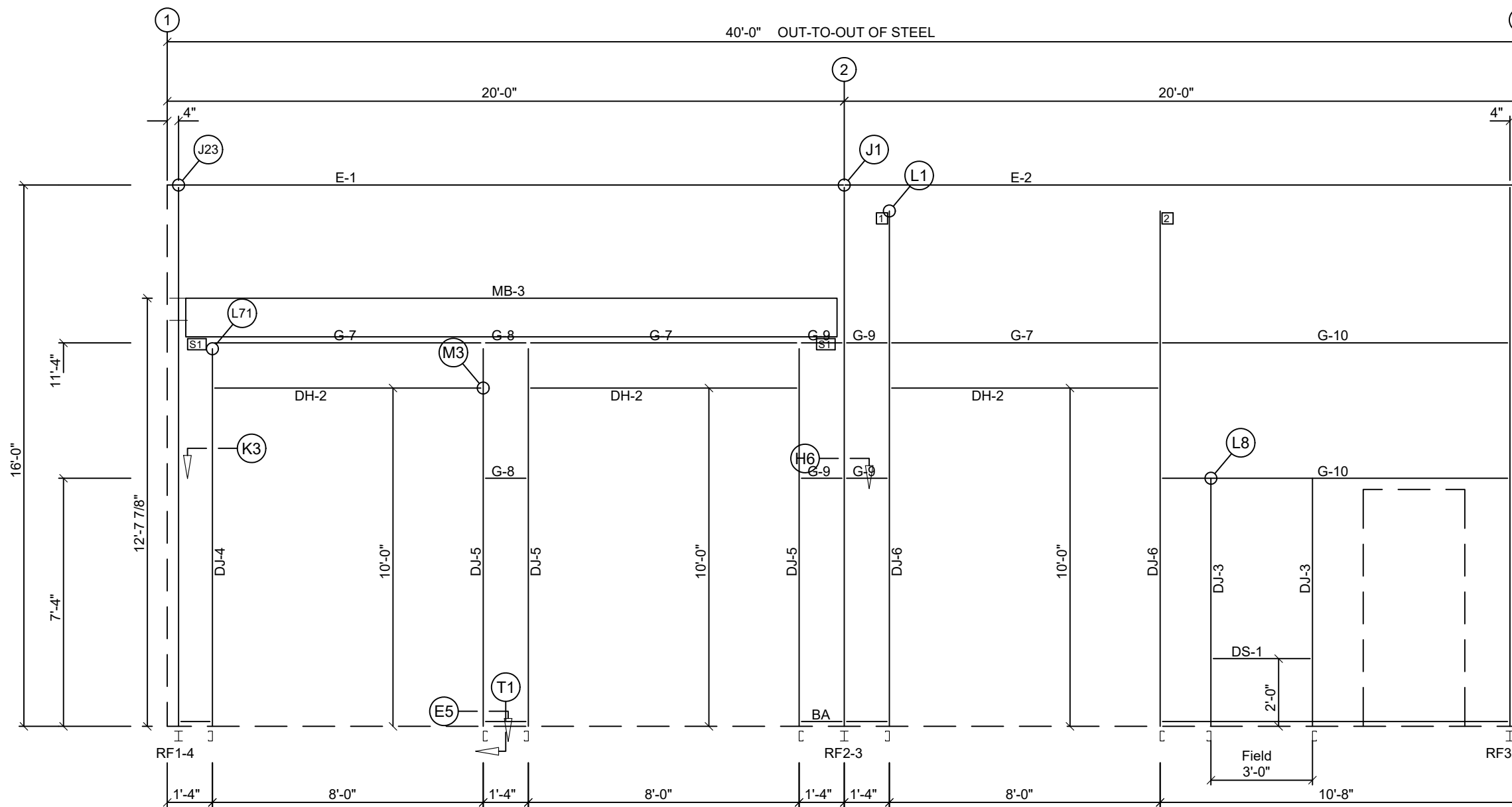
(817) 599-5241 www.jagmetalsllc.com
1815 Banks Drive Weatherford, TX 76087

MEMBER TABLE: FRAME LINE C			
QUAN	MARK	PART	LENGTH
2	DJ-3	8X35c14	7'-4"
1	DJ-4	8X35c14	11'-1 15/16"
3	DJ-5	8X35c14	11'-1 15/16"
2	DJ-6	8X35c14	15'-2 13/16"
3	DH-2	8X35c14	8'-0"
1	DS-1	8X35c14	3'-0"
1	E-1	E085344L	19'-11 1/2"
1	E-2	E085344L	19'-11 1/2"
3	G-7	8X25Z16	7'-11 1/2"
2	G-8	8X25Z16	7 1/2"
4	G-9	8X25Z16	8 3/8"
2	G-10	8X25Z16	9'-8 3/8"
1	MB-3	W14X22	19'-2 7/8"

CLIP TABLE: FRAME LINE C			
ID	QUAN	MARK	LENGTH
1	1	e1	
2	1	e2	

ANGLE TABLE: FRAME LINE C			
ID	QUAN	MARK	LENGTH
0	1	BA	

SUPPORT BEAM BOLT TABLE FRAME LINE C				
ID	QUAN	TYPE	DIA	LENGTH
S1	2	A325	3/4"	1 3/4"



FRONT SIDEWALL FRAMING: FRAME LINE C

JOB ID: **8043R3.0**
 CUSTOMER: **KL CONCRETE & CONST.**
 1450 AGNES NORTH
 SPRINGTOWN, TX 76082
 PROJECT: **BELL SHOP**
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034
 DRAWING DATE: **12/20/25**

DRAWING STATUS:
 FOR CONSTRUCTION
FINAL DRAWINGS USED FOR ERECTION PURPOSES
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REVISIONS:
 1
 2
 3

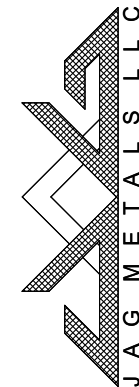
SCALING:
NOT TO SCALE

NOTE:
 THE ENGINEER SIGNING AND SEALING THIS SET OF DRAWINGS IS NOT THE ENGINEER OF RECORD FOR THE OVERALL PROJECT AND IS ONLY CERTIFYING THAT THE DESIGN OF THE BUILDING SYSTEM FURNISHED BY THE MANUFACTURER NAMED WITHIN SATISFY THE DESIGN REQUIREMENTS SPECIFIED BY THE CONTRACT DOCUMENTS IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND STANDARDS OF PRACTICE AND DOES NOT EXTEND TO THE ERECTION OF THE BUILDING STRUCTURE.

DRAWN BY: **GB** CHECKED BY: **BG/FB** ENG. BY: **JK**



SHEET **SS2**



(817) 599-5241 www.jagmetalsllc.com
1815 Banks Drive Weatherford, TX 76087

JOB ID

8043R3.0

CUSTOMER

KL CONCRETE & CONST.
1450 AGNES NORTH
SPRINGTOWN, TX 76082

PROJECT

BELL SHOP
205 OAK CREST HILL
COLLEYVILLE, TX 76034

DRAWING DATE:

12/20/25

DRAWING STATUS

- FOR CONSTRUCTION
FINAL DRAWINGS USED FOR ERECTION PURPOSES
- SEALED SET / PERMIT
NOT TO BE USED FOR ERECTION PURPOSES
- FOR APPROVAL
NOT TO BE USED FOR ERECTION PURPOSES

REVISIONS

- 1
- 2
- 3

SCALING:

NOT TO SCALE

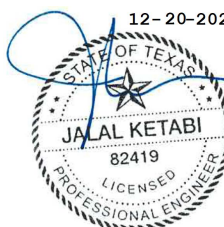
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DRAWN BY: CHECKED BY: ENG. BY:

GB BG/FB JK

SEAL



SHEET

SS3

MEMBER TABLE: FRAME LINE A

QUAN	MARK	PART	LENGTH
1	WF-1	W8X10	13'-6"
1	WF-2	W8X10	13'-6"
1	WF-3	W8X10	18'-3 9/16"
2	DJ-3	8X35c14	7'-4"
1	DS-1	8X35c14	3'-0"
1	E-3	E085344L	19'-11 1/2"
1	E-4	E085344L	19'-11 1/2"
1	G-11	8X25Z14	18'-3 3/8"
1	G-12	8X25Z16	18'-3 3/8"
1	G-13	8X25Z14	19'-1 1/4"
1	G-14	8X25Z16	19'-1 1/4"
1	MB-1	W14X22	19'-2 7/8"

BOLT TABLE: FRAME LINE A

LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-3	8	A325	3/4"	1 3/4"
WF-2 - WF-3	8	A325	3/4"	1 3/4"
WF-1 - RF3-1	4	A325	5/8"	1 3/4"
WF-2 - RF2-1	4	A325	5/8"	1 3/4"

CLIP TABLE: FRAME LINE A

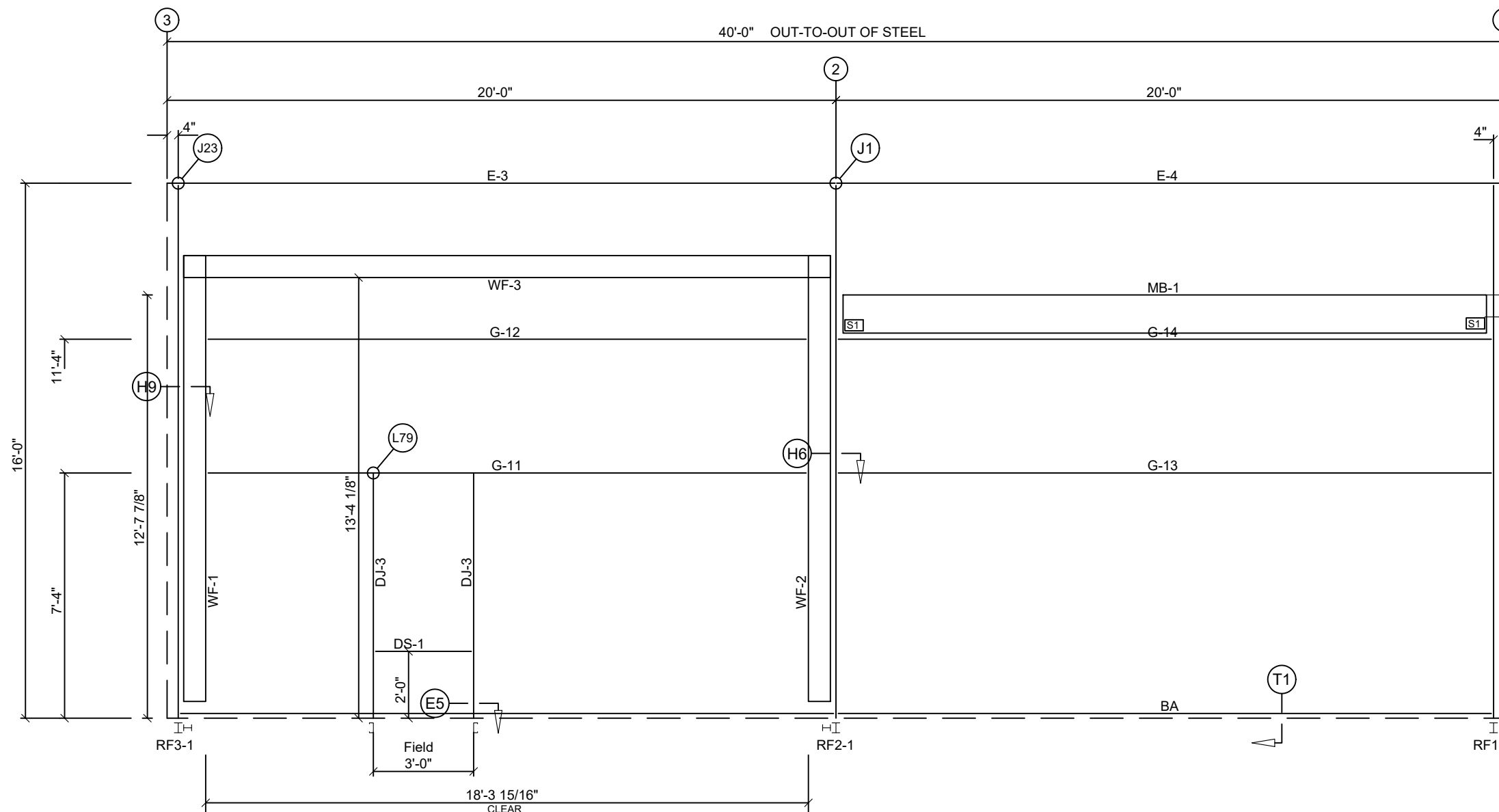
ID	QUAN	MARK	LENGTH
S1	2	BA	

ANGLE TABLE: FRAME LINE A

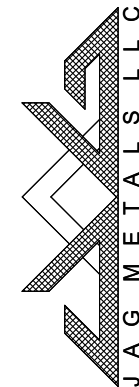
ID	QUAN	MARK	LENGTH
0	2	BA	

SUPPORT BEAM BOLT TABLE

ID	QUAN	TYPE	DIA	LENGTH
S1	2	A325	3/4"	1 3/4"



BACK SIDEWALL FRAMING: FRAME LINE A



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2	
3	

SCALING:

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DRAWN BY: CHECKED BY: ENG. BY:

GB BG/FB JK

SEAL



SHEET

SS4

MEMBER TABLE: FRAME LINE 1

QUAN	MARK	PART	LENGTH
1	EC-1	W8X18	19'-2 11/16"
2	DJ-1	8X35c14	4'-5"
2	DJ-2	8X35c14	5'-5"
4	DJ-3	8X35c14	7'-4"
2	DH-1	8X35c14	3'-0"
4	DS-1	8X35c14	3'-0"
4	G-1	8X25Z16	13'-11 3/4"
2	G-2	8X25Z16	9'-8 3/4"
1	MB-4	W10X12	14'-1 7/16"
1	MB-5	W10X12	14'-1 7/16"

BOLT TABLE: FRAME LINE 1

LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	2	A325	5/8"	1 1/2"
Jamb	2	A325	1/2"	1 1/4"

CLIP TABLE: FRAME LINE 1

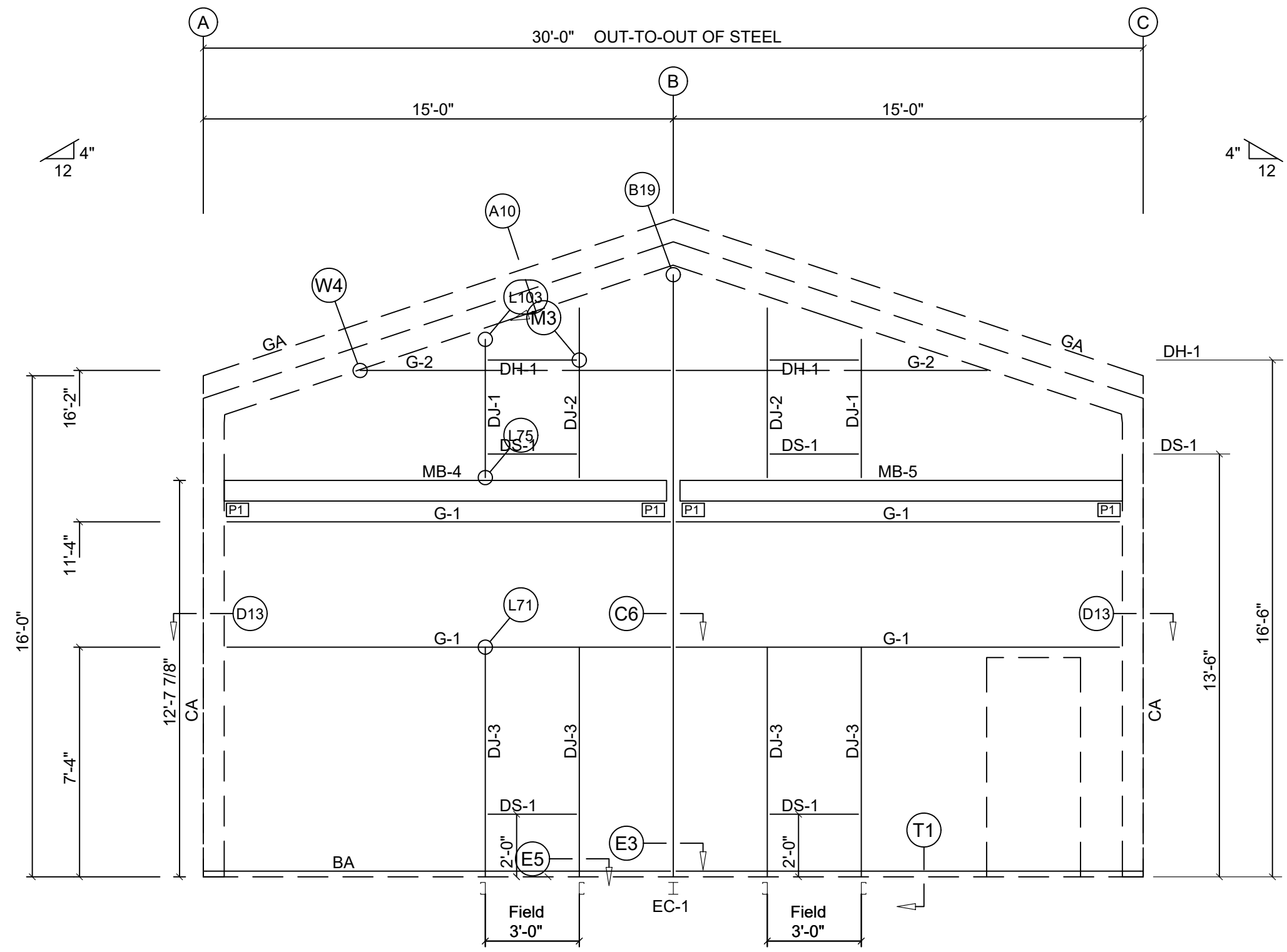
ID	QUAN	MARK	LENGTH

ANGLE TABLE: FRAME LINE 1

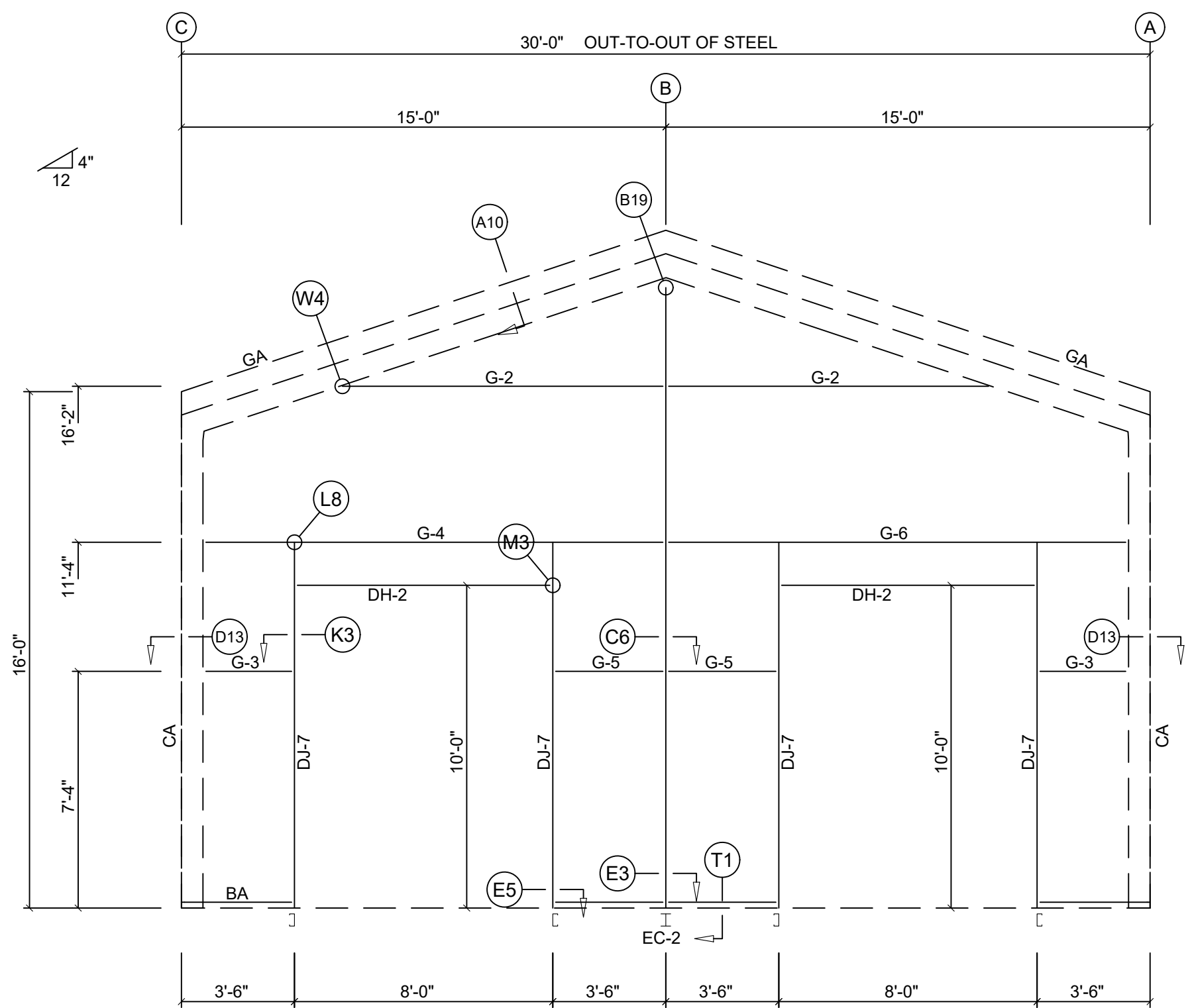
ID	QUAN	MARK	LENGTH
0	1	GA	
0	1	CA	
0	2	BA	

PERIMETER BEAM BOLT TABLE
FRAME LINE 1

ID	QUAN	TYPE	DIA	LENGTH
P1	4	A325	3/4"	1 3/4"



LEFT ENDWALL FRAMING: FRAME LINE 1



RIGHT ENDWALL FRAMING: FRAME LINE 3

MEMBER TABLE: FRAME LINE 3			
QUAN	MARK	PART	LENGTH
1	EC-2	W8X10	19'-2 11/16"
4	DJ-7	8X35c14	11'-4"
2	DH-2	8X35c14	8'-0"
2	G-2	8X25Z16	9'-8 3/4"
2	G-3	8X25Z16	2'-5 1/2"
1	G-4	8X25Z16	13'-11 3/4"
2	G-5	8X25Z16	2'-9 3/4"
1	G-6	8X25Z16	13'-11 3/4"

BOLT TABLE: FRAME LINE 3				
LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	2	A325	5/8"	1 1/2"

ANGLE TABLE: FRAME LINE 3			
∠ID	QUAN	MARK	LENGTH
0	1	GA	
0	1	CA	
0	1	BA	

REF. VER. TB0125.1FAB

JAG METALS L.L.C.
 (817) 599-5241 www.jagmetalsllc.com
 1815 Banks Drive Weatherford, TX 76087

JOB ID: **8043R3.0**

CUSTOMER: **KL CONCRETE & CONST.**
 1450 AGNES NORTH
 SPRINGTOWN, TX 76082

PROJECT: **BELL SHOP**
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034

DRAWING DATE: **12/20/25**

DRAWING STATUS

FOR CONSTRUCTION
FINAL DRAWINGS USED FOR ERECTION PURPOSES

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NOT TO BE USED FOR ERECTION PURPOSES

FOR APPROVAL
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REVISIONS

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DRAWN BY: **GB** CHECKED BY: **BG/FB** ENG. BY: **JK**

SEAL

SHEET **SS5**



RIDGE TYPE				
◊ID	QUAN	MARK	LENGTH	DETAIL
0	14	FL51	3'-0"	TRIM_128

PANEL TABLE ROOF PLAN			
QUAN	MARK	PART	LENGTH
3	RS-1	PBR26	15'-8"

JOB ID
8043R3.0

CUSTOMER
KL CONCRETE & CONST.
1450 AGNES NORTH
SPRINGTOWN, TX 76082

PROJECT
BELL SHOP
205 OAK CREST HILL
COLLEYVILLE, TX 76034

DRAWING DATE:
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FOR APPROVAL
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REVISIONS

1

2

3

SCALING:
NOT TO SCALE

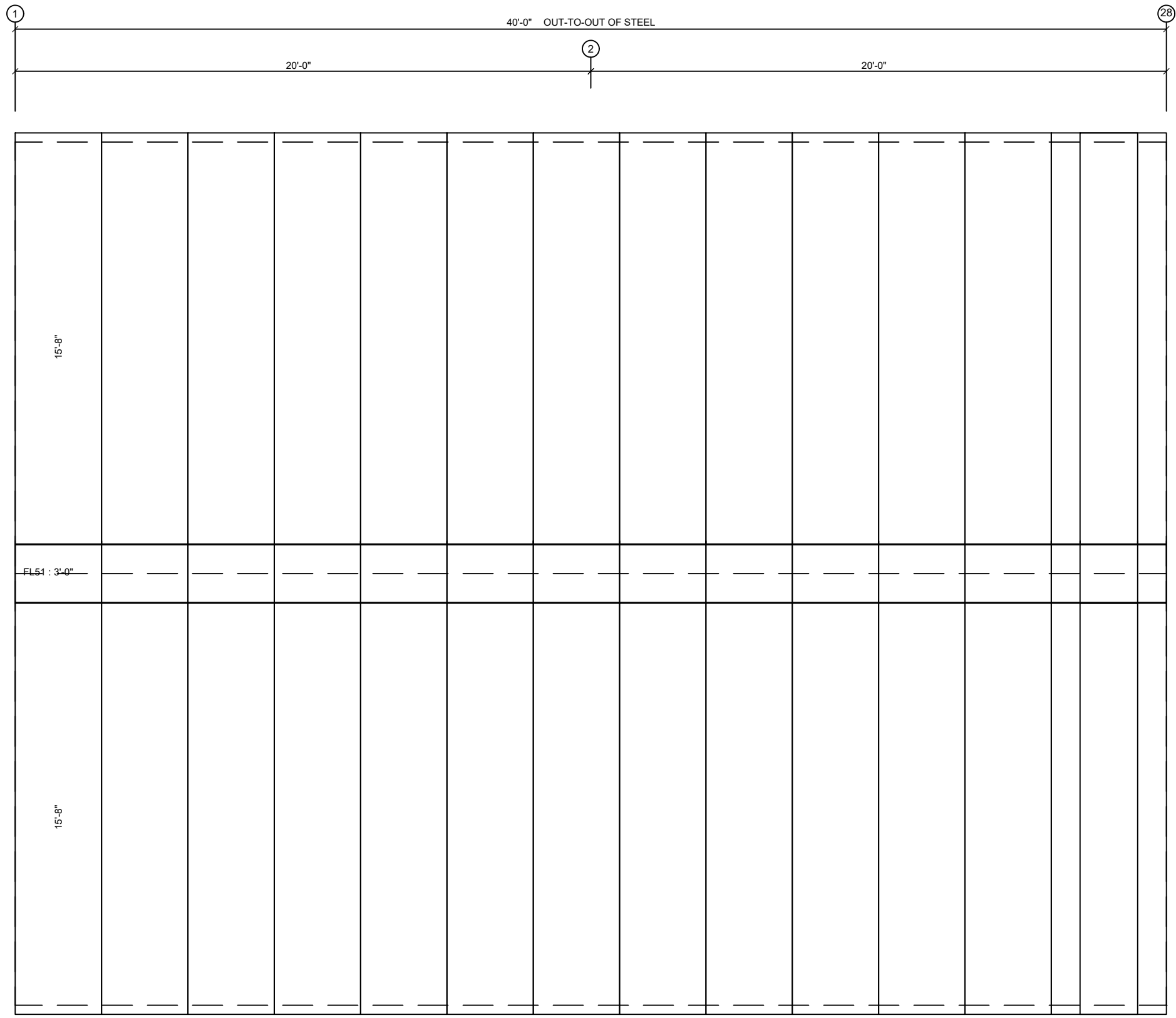
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DRAWN BY:	CHECKED BY:	ENG. BY:
GB	BG/FB	JK

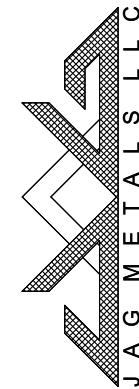
SEAL

12-20-2025

SHEET
SSH1

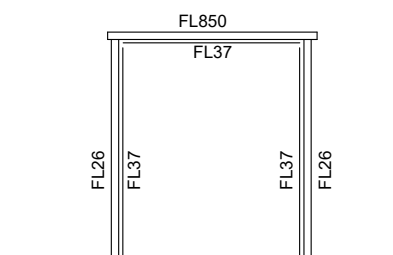


ROOF SHEETING PLAN
PANELS: 26 Ga. PBR

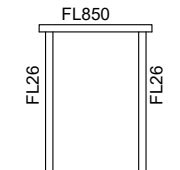


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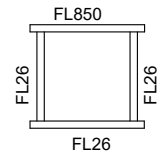
ID	QUAN	MARK	LENGTH	DETAIL
0	1	FL24	3'-6"	TRIM_10
0	2	FL850	3'-6"	TRIM_6
0		FL37	SCRAP	TRIM_6
0	3	FL852	10'-4"	TRIM_6
0	4	FL37	10'-2"	TRIM_6
0	8	FL26	10'-4"	TRIM_7
0	6	FL37	10'-2"	TRIM_7
0	2	FL19A	20'-2"	
0	1	FL19	10'-2"	
0	2	FL18D	20'-2"	TRIM_108
0	1	FL18C	10'-2"	TRIM_108
0	2	FL833	16'-0"	TRIM_13
0	2	FL72	10'-2"	TRIM_1
0		FL72	SCRAP	TRIM_1
0	2	FL16C	6"	
0	1	FL18AR	6"	
0	1	FL18AL	6"	



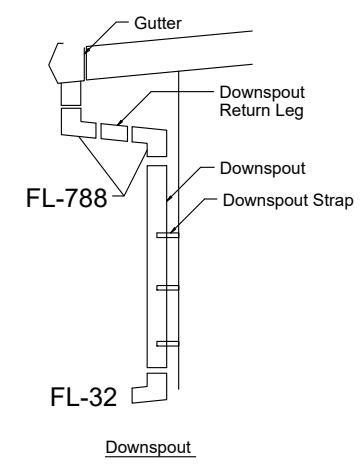
TRIMS FOR 8'-0" X 10'-0" OH DOOR			
FL850	Head Trim	#-#"	TRIM_6 / TRIM_9
FL37	Head Cap	#-#"	TRIM_6
FL26	Jamb Trim	#-#"	TRIM_7 / TRIM_9
FL37	Jamb Cap	#-#"	TRIM_7



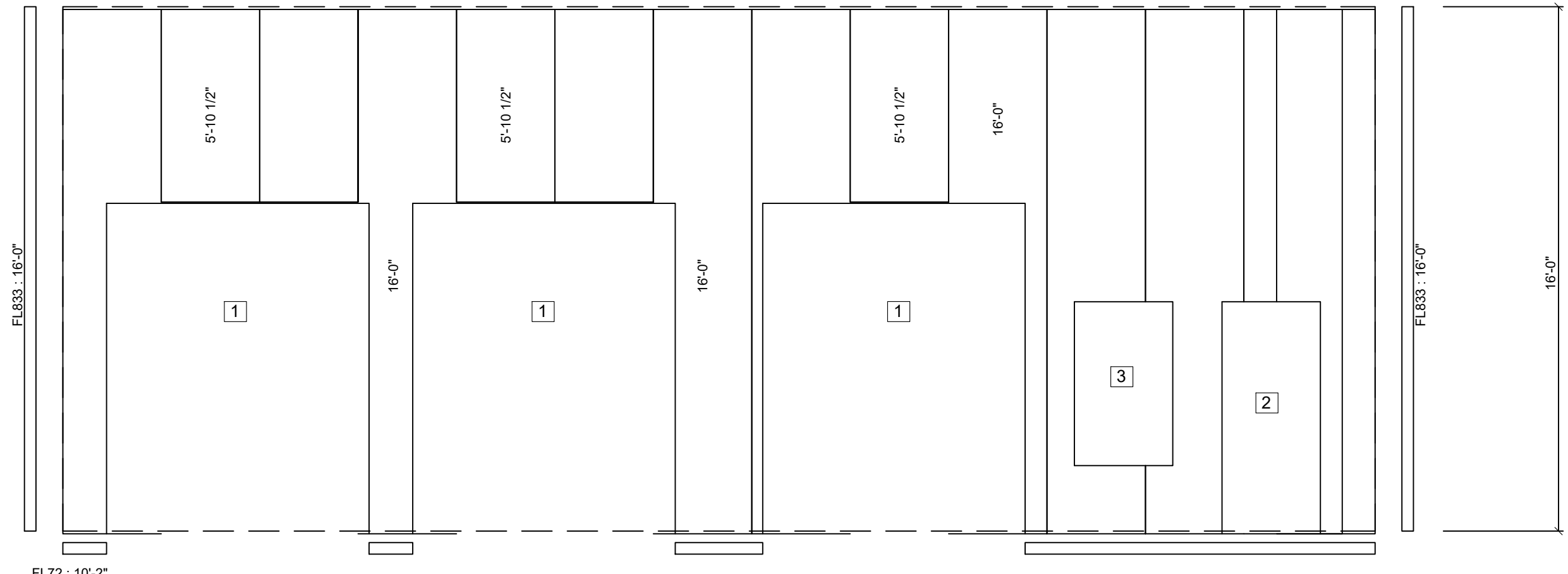
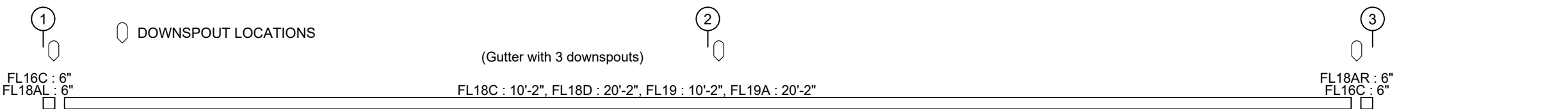
TRIMS FOR 3070 DOOR			
FL850	Head Trim	3'-6"	TRIM_6 / TRIM_9
FL26	Jamb Trim	7'-4"	TRIM_7 / TRIM_9



TRIMS FOR 3'-0" x 5'-0" WINDOW			
FL850	Head Trim	#-#"	TRIM_6 / TRIM_8
FL26	Jamb Trim	#-#"	TRIM_7 / TRIM_8
FL26	Sill Trim	#-#"	TRIM_10 / TRIM_8



NOTE: GUTTER STRAP FL-797 TO BE PLACE AT 2'-0" ON CENTER.



FRONT SIDEWALL SHEETING & TRIM: FRAME LINE C

PANELS: 26 Ga. PBR - Polar White

JOB ID: **8043R3.0**
 CUSTOMER: KL CONCRETE & CONST.
 1450 AGNES NORTH
 SPRINGTOWN, TX 76082
 PROJECT: BELL SHOP
 205 OAK CREST HILL
 COLLEYVILLE, TX 76034
 DRAWING DATE: 12/20/25

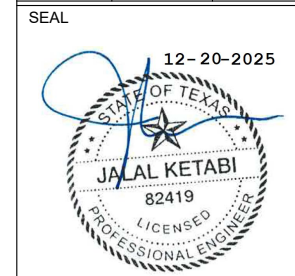
DRAWING STATUS:
 FOR CONSTRUCTION
 SEALED SET / PERMIT
 FOR APPROVAL

REVISIONS:
 1
 2
 3

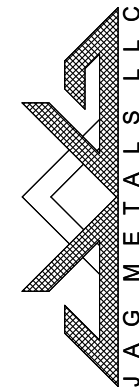
SCALING: NOT TO SCALE

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DRAWN BY: GB CHECKED BY: BG/FB ENG. BY: JK

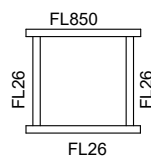


SHEET: **SSH2**

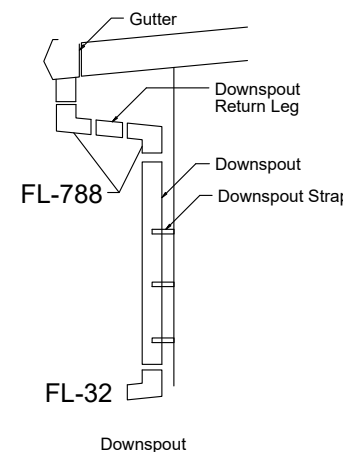


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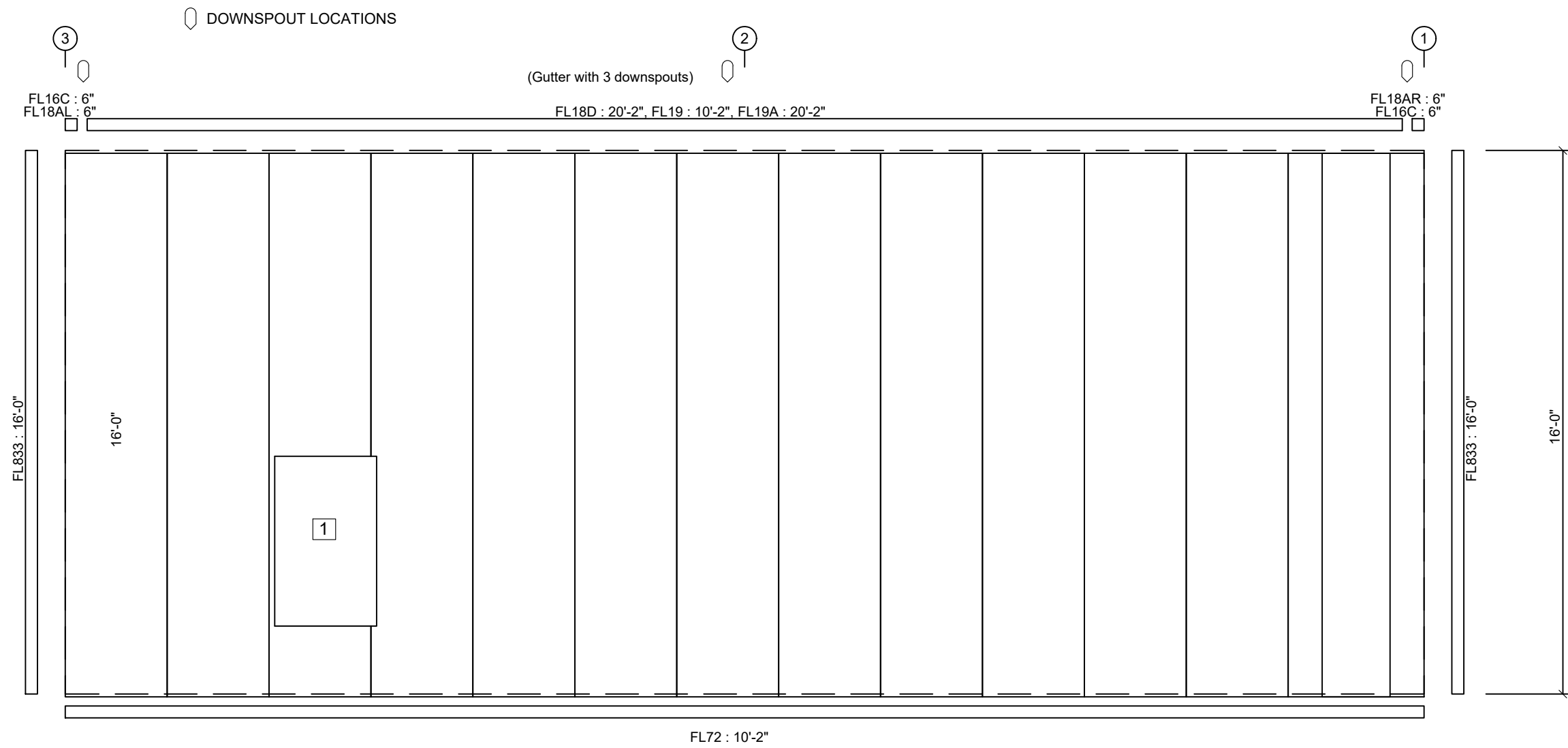
TRIM TABLE (Trim laps 2" unless noted otherwise)				
QID	QUAN	MARK	LENGTH	DETAIL
0	1	FL24	3'-6"	TRIM_10
0	1	FL850	3'-6"	TRIM_6
0	1	FL37	10'-2"	TRIM_6
0		FL26	SCRAP	TRIM_7
0		FL37	SCRAP	TRIM_7
0	1	FL26	10'-4"	TRIM_7
0	2	FL37	10'-2"	TRIM_7
0	2	FL19A	20'-2"	
0	1	FL19	10'-2"	
0	2	FL18D	20'-2"	TRIM_108
0	2	FL833	16'-0"	TRIM_13
0	4	FL72	10'-2"	TRIM_1
0	1	FL18AL	6"	
0	2	FL16C	6"	
0	1	FL18AR	6"	



1 TRIMS FOR 3'-0" x 5'-0" WINDOW			
FL850	Head Trim	#-#"	TRIM_6 / TRIM_8
FL26	Jamb Trim	#-#"	TRIM_7 / TRIM_8
FL26	Sill Trim	#-#"	TRIM_10 / TRIM_8



NOTE: GUTTER STRAP FL-797 TO BE PLACE AT 2'-0" ON CENTER.



BACK SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. PBR - Polar White

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 1450 AGNES NORTH
 SPRINGTOWN, TX 76082
 PROJECT: BELL SHOP
 205 OAK CREST HILL
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 DRAWING DATE: 12/20/25

DRAWING STATUS:
 FOR CONSTRUCTION
 SEALED SET / PERMIT
 FOR APPROVAL

REVISIONS:
 1
 2
 3

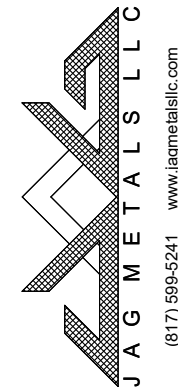
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DRAWN BY:	CHECKED BY:	ENG. BY:
GB	BG/FB	JK

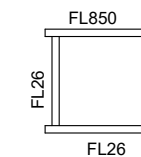
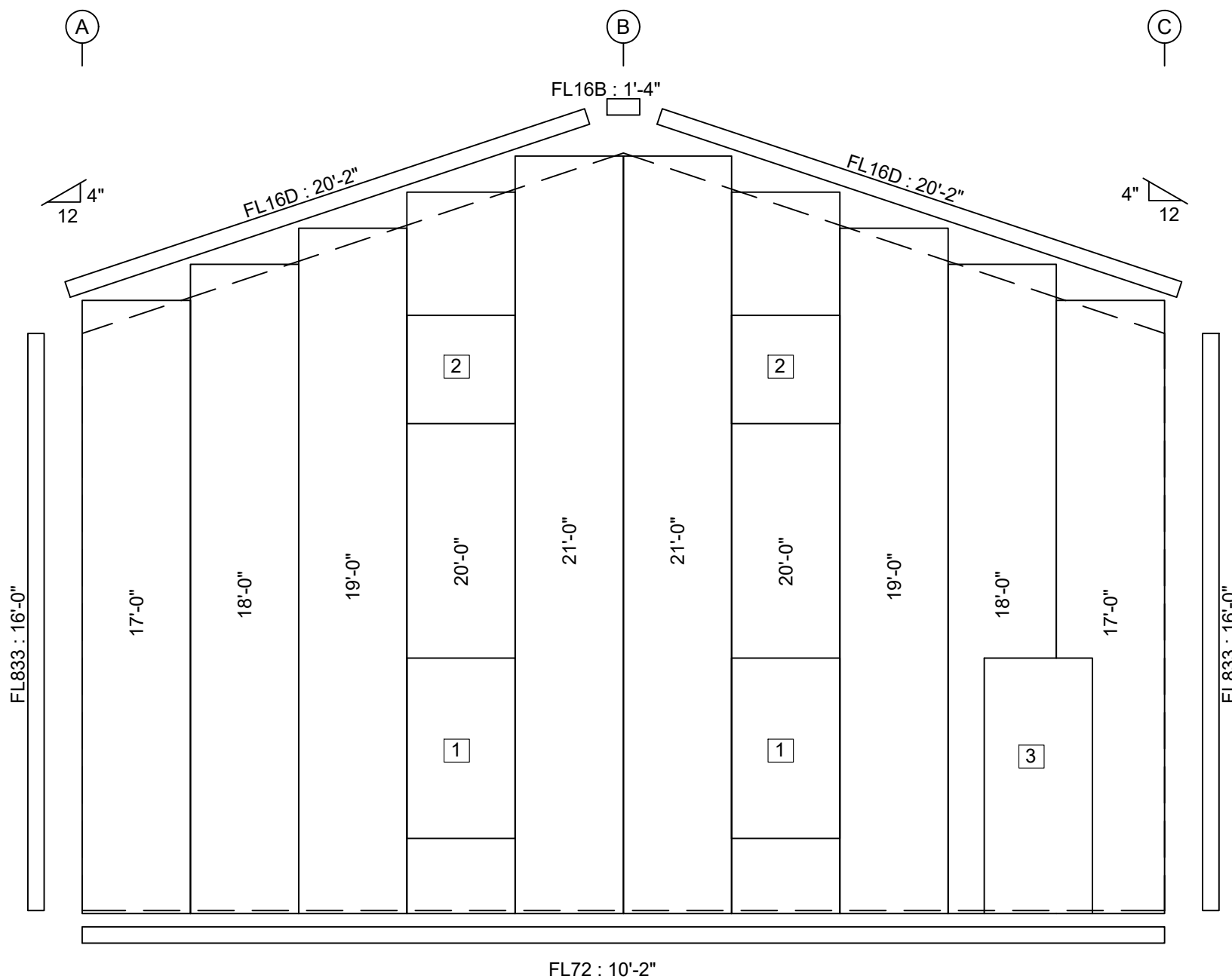


SHEET: **SSH3**

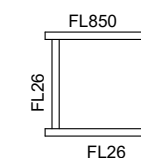


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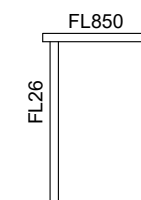
TRIM TABLE (Trim laps 2" unless noted otherwise)				
QID	QUAN	MARK	LENGTH	DETAIL
0	2	FL26	10'-4"	TRIM_7
0	4	FL24	3'-6"	TRIM_10
0	5	FL850	3'-6"	TRIM_6
0		FL37	SCRAP	TRIM_6
0	4	FL37	10'-2"	TRIM_6
0	2	FL16D	20'-2"	TRIM_103
0	2	FL833	16'-0"	TRIM_13
0	4	FL72	10'-2"	TRIM_1
0	1	FL16B	1'-4"	



1 TRIMS FOR 3'-0" x 5'-0" WINDOW			
FL850	Head Trim	#-#"	TRIM_6 / TRIM_8
FL26	Jamb Trim	#-#"	TRIM_7 / TRIM_8
FL26	Sill Trim	#-#"	TRIM_10 / TRIM_8



2 TRIMS FOR 3'-0" x 3'-0" WINDOW			
FL850	Head Trim	#-#"	TRIM_6 / TRIM_8
FL26	Jamb Trim	#-#"	TRIM_7 / TRIM_8
FL26	Sill Trim	#-#"	TRIM_10 / TRIM_8



3 TRIMS FOR 3070 DOOR			
FL850	Head Trim	3'-6"	TRIM_6 / TRIM_9
FL26	Jamb Trim	7'-4"	TRIM_7 / TRIM_9

JOB ID

8043R3.0

CUSTOMER

KL CONCRETE & CONST.
1450 AGNES NORTH
SPRINGTOWN, TX 76082

PROJECT

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DRAWN BY: CHECKED BY: ENG. BY:

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SEAL

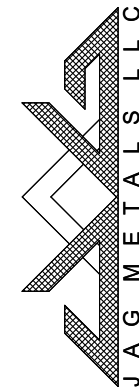


SHEET

SSH4

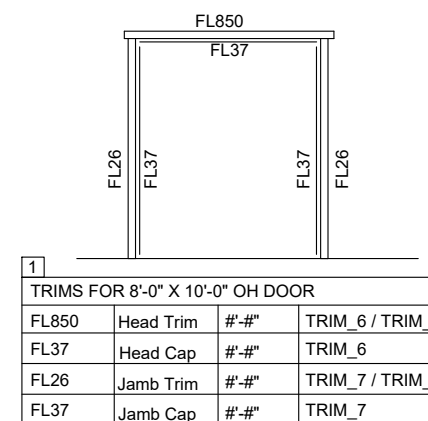
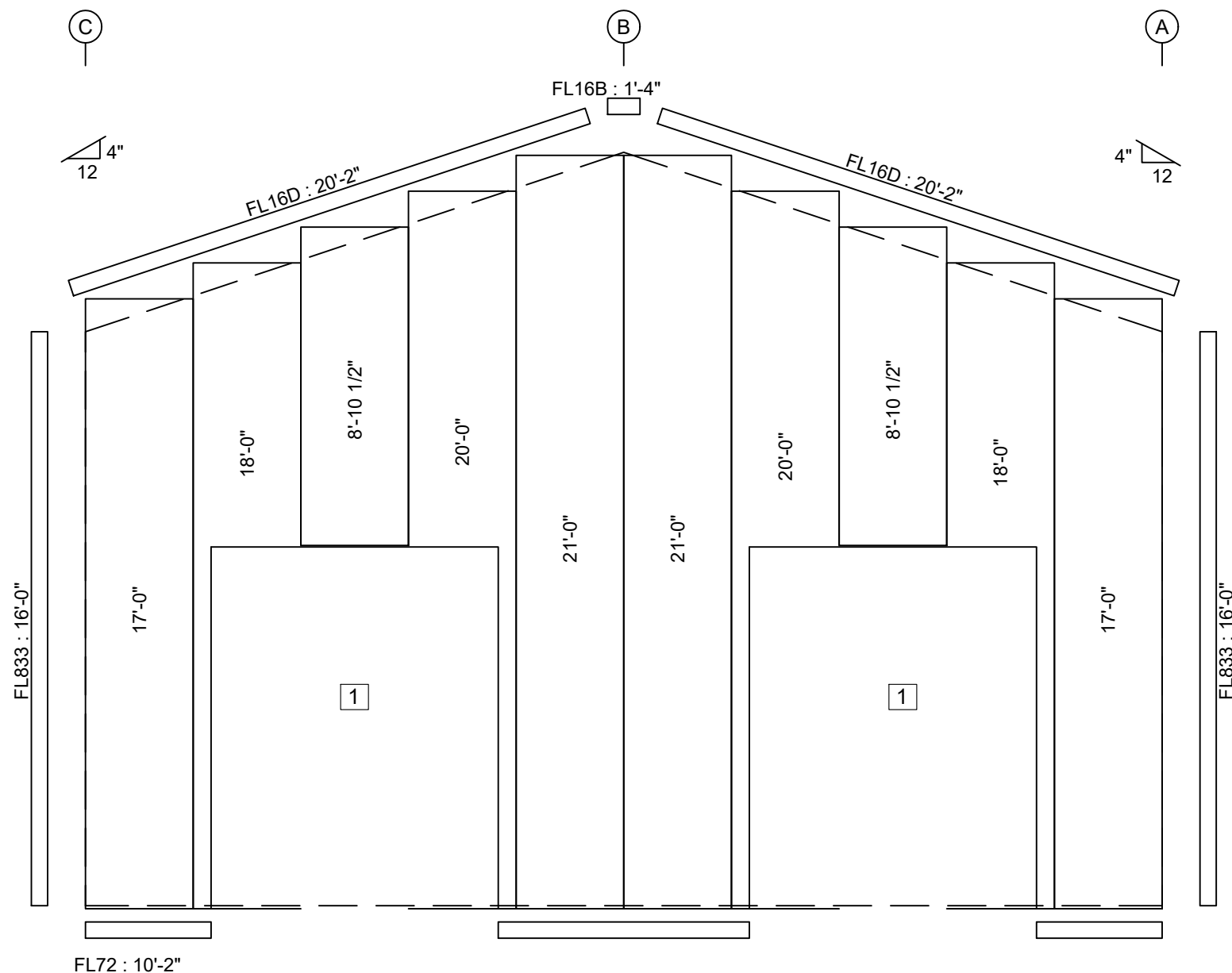
LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PBR - Polar White



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1815 Banks Drive Weatherford, TX 76087

TRIM TABLE (Trim laps 2" unless noted otherwise)				
ID	QUAN	MARK	LENGTH	DETAIL
0	2	FL852	10'-4"	TRIM_6
0	2	FL37	10'-2"	TRIM_6
0	4	FL26	10'-4"	TRIM_7
0	4	FL37	10'-2"	TRIM_7
0	2	FL16D	20'-2"	TRIM_103
0	2	FL833	16'-0"	TRIM_13
0	2	FL72	10'-2"	TRIM_1
0		FL72	SCRAP	TRIM_1
0	1	FL16B	1'-4"	



1 TRIMS FOR 8'-0" X 10'-0" OH DOOR			
FL850	Head Trim	#'-#"	TRIM_6 / TRIM_9
FL37	Head Cap	#'-#"	TRIM_6
FL26	Jamb Trim	#'-#"	TRIM_7 / TRIM_9
FL37	Jamb Cap	#'-#"	TRIM_7

RIGHT ENDWALL SHEETING & TRIM: FRAME LINE 3

PANELS: 26 Ga. PBR - Polar White

JOB ID

8043R3.0

CUSTOMER

KL CONCRETE & CONST.
1450 AGNES NORTH
SPRINGTOWN, TX 76082

PROJECT

BELL SHOP
205 OAK CREST HILL
COLLEYVILLE, TX 76034

DRAWING DATE:

12/20/25

DRAWING STATUS

- FOR CONSTRUCTION
FINAL DRAWINGS USED FOR ERECTION PURPOSES
- SEALED SET / PERMIT
NOT TO BE USED FOR ERECTION PURPOSES
- FOR APPROVAL
NOT TO BE USED FOR ERECTION PURPOSES

REVISIONS

- 1
- 2
- 3

SCALING:

NOT TO SCALE

NOTE:
THE ENGINEER SIGNING AND SEALING THIS SET OF DRAWINGS IS NOT THE ENGINEER OF RECORD FOR THE OVERALL PROJECT AND IS ONLY CERTIFYING THAT THE DESIGN OF THE BUILDING SYSTEM FURNISHED BY THE MANUFACTURER NAMED WITHIN SATISFY THE DESIGN REQUIREMENTS SPECIFIED BY THE CONTRACT DOCUMENTS IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND STANDARDS OF PRACTICE AND DOES NOT EXTEND TO THE ERECTION OF THE BUILDING STRUCTURE.

DRAWN BY: CHECKED BY: ENG. BY:

GB BG/FB JK

SEAL



SHEET

SSH5



CITY OF COLLEYVILLE PLANNING AND ZONING COMMISSION WORKSESSION BRIEFING

Agenda Number 2d

Agenda Date 1/26/2026

Number -

Type Presentation and Discussion

Department Community Development

Title

Presentation and discussion of a minor plat with a waiver for lot width for proposed Lot 1, Block 1, Engelman Addition, being Tracts 4M and A328 TR 2V, Abstract 1518, David R. Teeter Survey, located at 2200 Oak Knoll Drive, Case PC26-001

Explanation

Consideration of a minor plat with a waiver for lot width for proposed Lot 1, Block 1, Engelman Addition, being Tracts 4M and A328 TR 2V, Abstract 1518, David R. Teeter Survey, located at 2200 Oak Knoll Drive, Case PC26-001. The request is to create one lot from two tracts of land. The proposed request requires a plat waiver due to its substandard lot width. The required lot width for R-40 Single-Family Residential zoning is 150 feet. The lot width is approximately 100 feet.

Attachments

1. Aerial Map
2. Zoning Map
3. Future Land Use Map
4. Plat Exhibit

Aerial Map

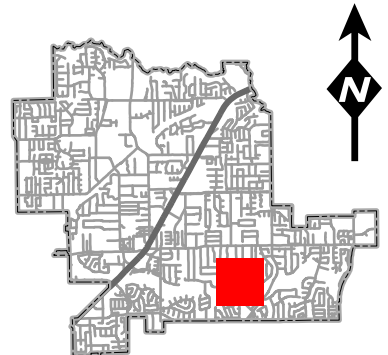


ZC26-002

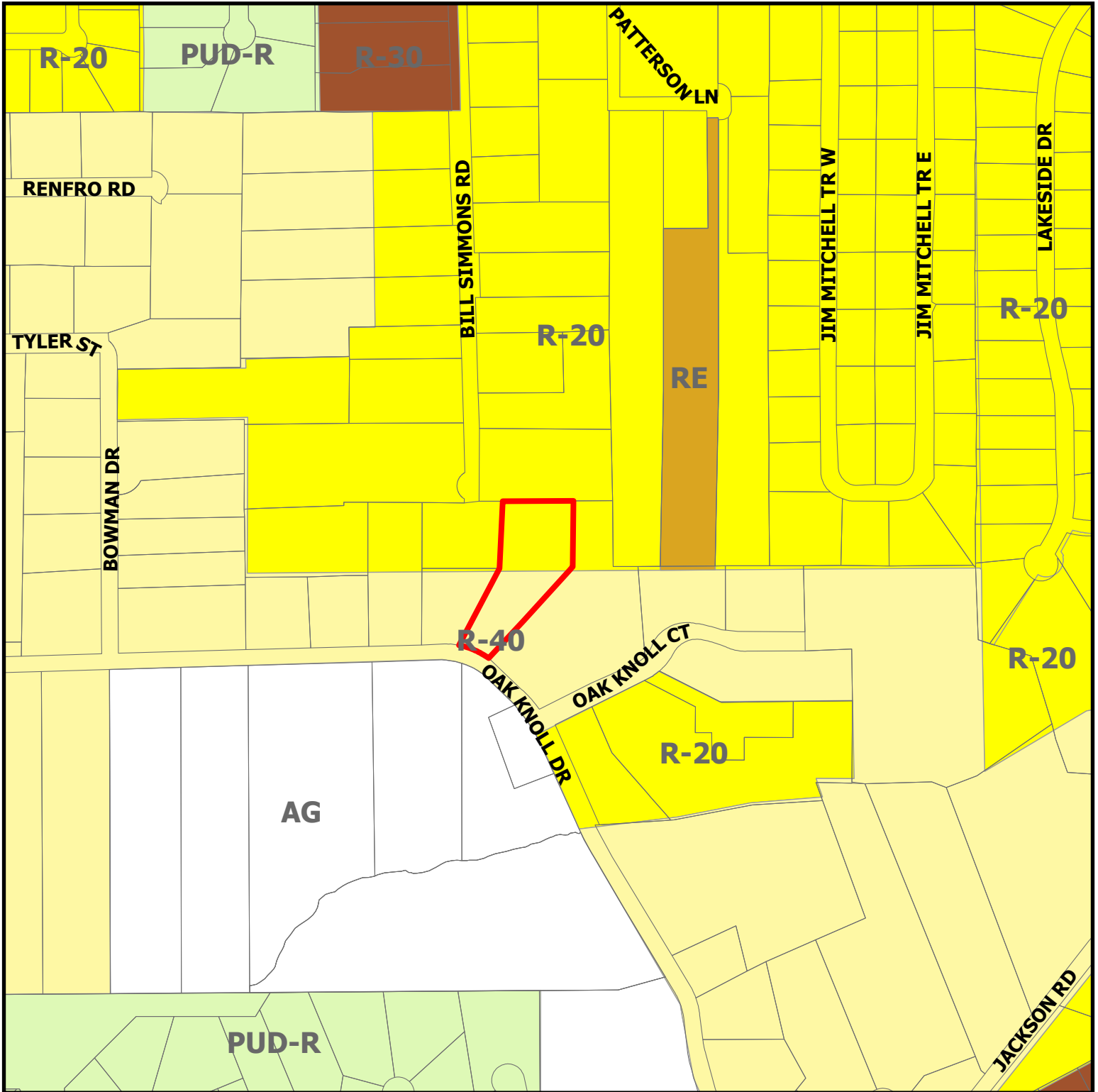
2200 Oak Knoll Drive

DISCLAIMER:
This map and information contained in it were developed exclusively for use by the City of Colleyville. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of Colleyville, its officials or employees for any discrepancies, errors, or variances which may exist.

 Subject Property



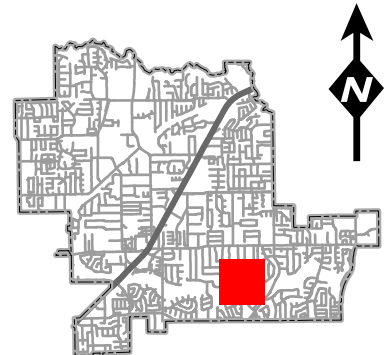
Zoning Map



ZC26-002

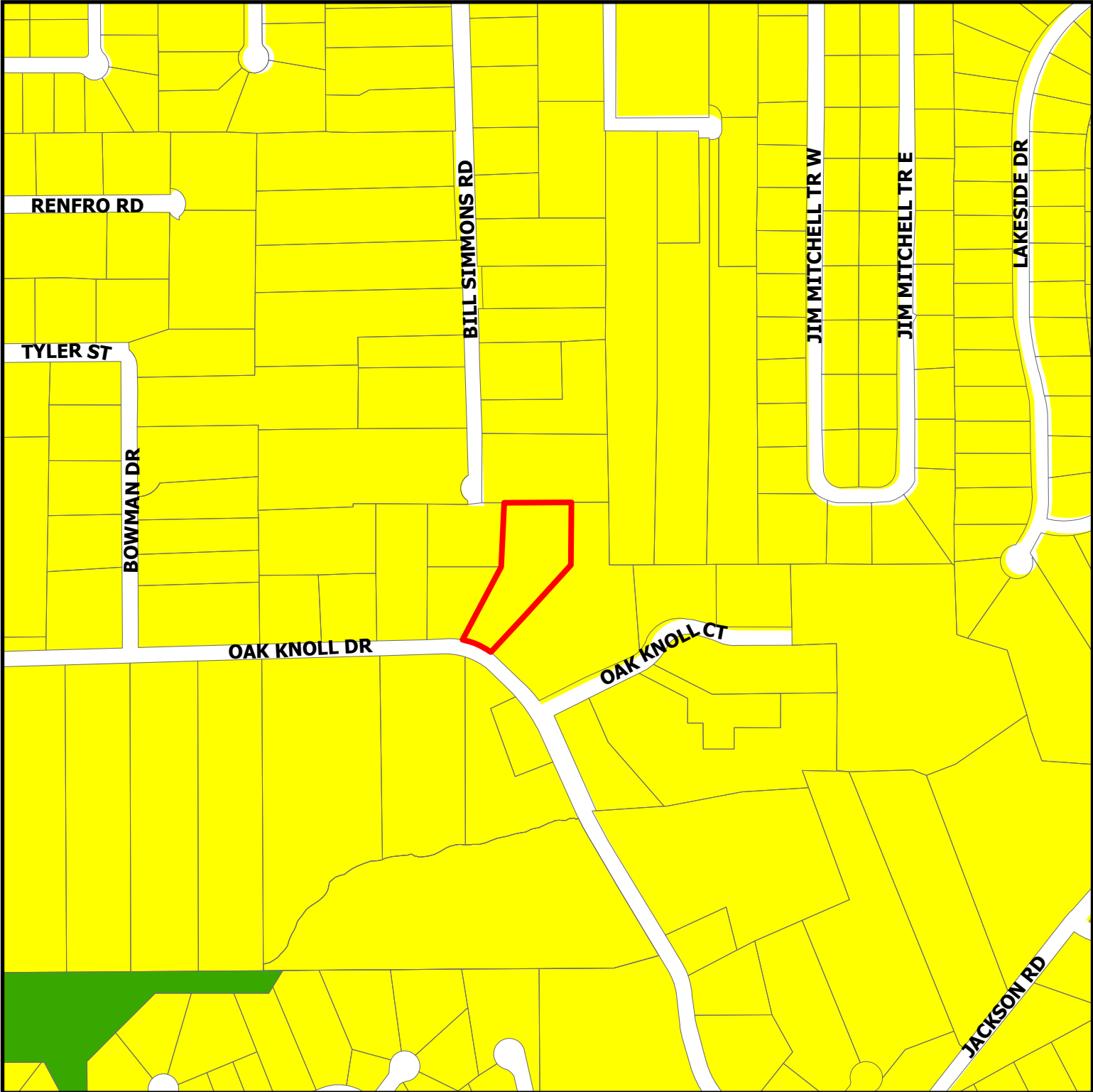
2200 Oak Knoll Drive

 Subject Property






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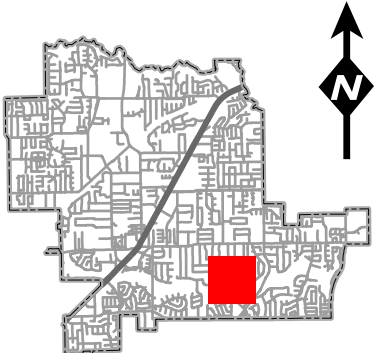
Future Land Use Map



ZC26-002

2200 Oak Knoll Drive

-  Residential
-  Open Space; Parks
-  Subject Property



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STATE OF TEXAS
OWNER'S DEDICATION AND ACKNOWLEDGEMENT
COUNTY OF TARRANT

Whereas Matthew & Shannon Engelman are the owners of a tract of land located at Colleyville, Tarrant County, Texas, being 1.984 acres situated in the D.R. Teeter Survey, Abstract 1518, and the Simon Cotrail Survey, Abstract 328, being that land conveyed to them via Instrument D225235263, Deed Records of Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING AT A POINT, SAID POINT BEING A 5/8" IR (FND) FOR THE SW CORNER OF THIS TRACT, BEING THE SE CORNER OF LAND OF CATHERINE COBB, D211016045, DRTCT, AND BEING IN THE NORTH LINE OF OAK KNOLL DRIVE, AN APPROXIMATE 50 FOOT R.O.W.;

THENCE NORTH 30° 18' 04" EAST, BY THE EAST LINE OF LAND OF SAID CATHERINE COBB, FOR A DISTANCE OF 254.74 FEET TO A 5/8" IR (FND);

THENCE NORTH 3° 05' 33" EAST (BASE BRG'), BY THE EAST LINE OF LAND OF DELORIS PEARSON, LOT 1, BLOCK 1 OF "PEARSON ADDITION" CABINET A, SLIDE 4674, PRTCT, FOR A DISTANCE OF 201.07 FEET TO A 5/8" IR (FND);

THENCE SOUTH 89° 24' 04" EAST, BY THE SOUTH LINE OF LAND OF JOHN NICHOLSON, VOLUME 5894, PAGE 794, DRTCT, FOR A DISTANCE OF 218.80 FEET TO A 5/8" IR (FND);

THENCE SOUTH 3° 17' 56" WEST, BY THE WEST LINE OF LAND OF ROBERT E. WOOSTER, VOL 4428, PAGE 929, DRTCT, FOR A DISTANCE OF 200.01 FEET TO A 5/8" IR (FND);

THENCE SOUTH 43° 53' 56" WEST, BY THE WEST LINE OF LAND OF SAID ROBERT E. WOOSTER, FOR A DISTANCE OF 385.72 FEET TO A 5/8" IR (FND) IN THE NORTH LINE OF OAK KNOLL DRIVE;

THENCE NORTH 47° 54' 04" WEST, BY THE NORTH LINE OF OAK KNOLL DRIVE, FOR A DISTANCE OF 50.26 FEET TO A 5/8" IR (FND);

THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT, RADIUS = 120.70 FEET, FOR A DISTANCE OF 49.40 FEET (L.C. = NORTH 58° 41' 22" WEST FOR 49.06 FEET), TO THE 5/8" IR AT THE POINT OF BEGINNING, SAID PARCEL BEING 86433 SQFT OR 1.984 ACRES MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Matthew & Shannon Engelman, owners, do hereby adopt this plat as Engelman Addition, an Addition to the City of Colleyville, Tarrant County, Texas, and do hereby dedicate fee simple to the public use forever all streets, rights-of-ways, and alleys shown thereon, and do hereby reserve the easements shown on this plat for the mutual use and accomodation of all public utilities desiring to use or using the same. Any public utility shall have the right to move and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approval subject to all platting ordinances, rules, regulations, and resolutions of the City of Colleyville, Texas.

Witness our hands this ____ day of _____, 2026

Matthew Engelman, Owner

Shannon Engelman, Owner

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Matthew Engelman, Owner known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2026

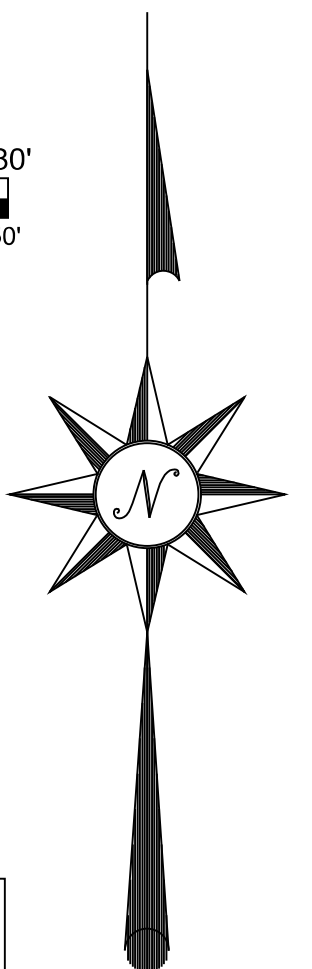
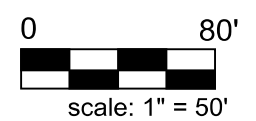
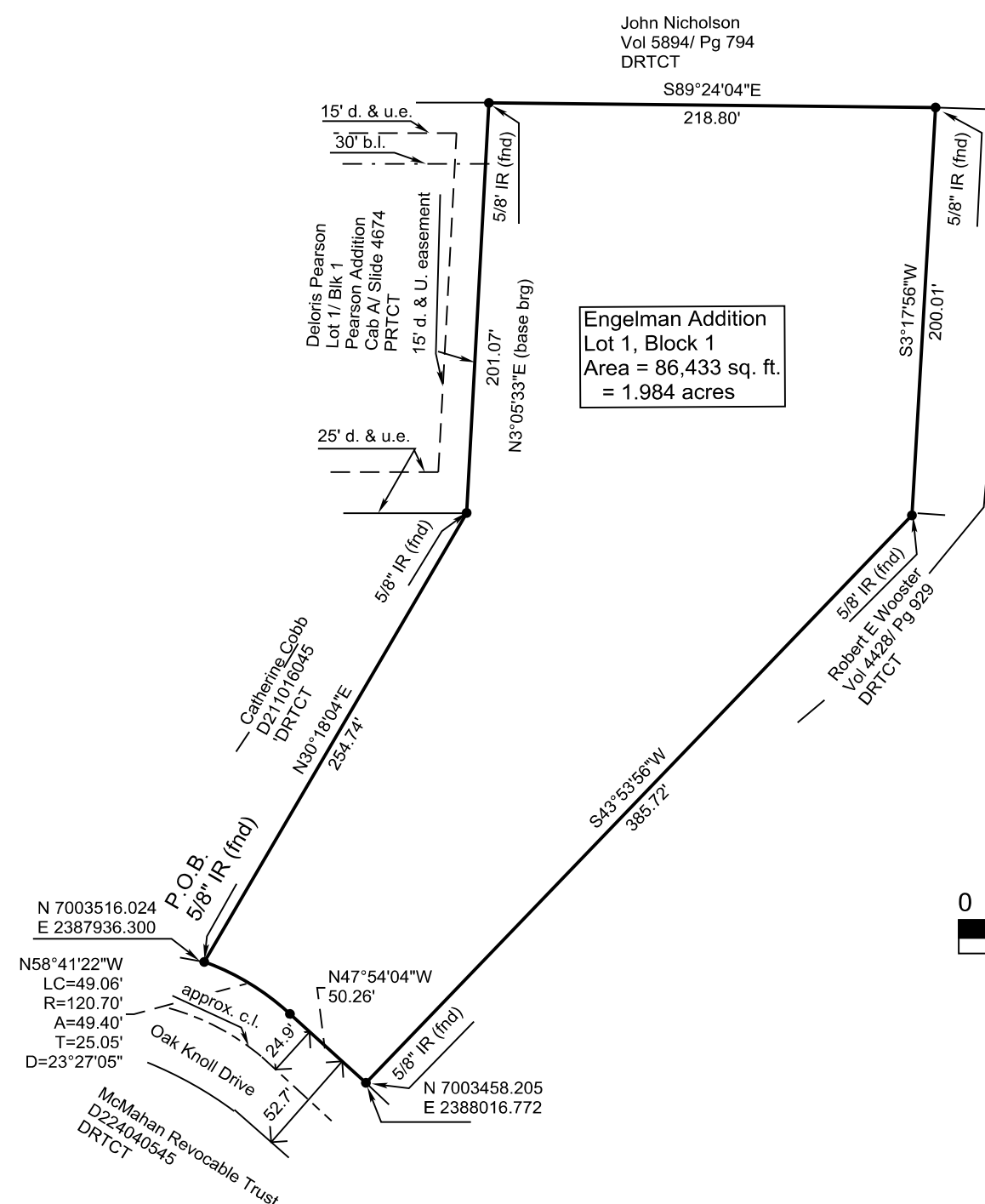
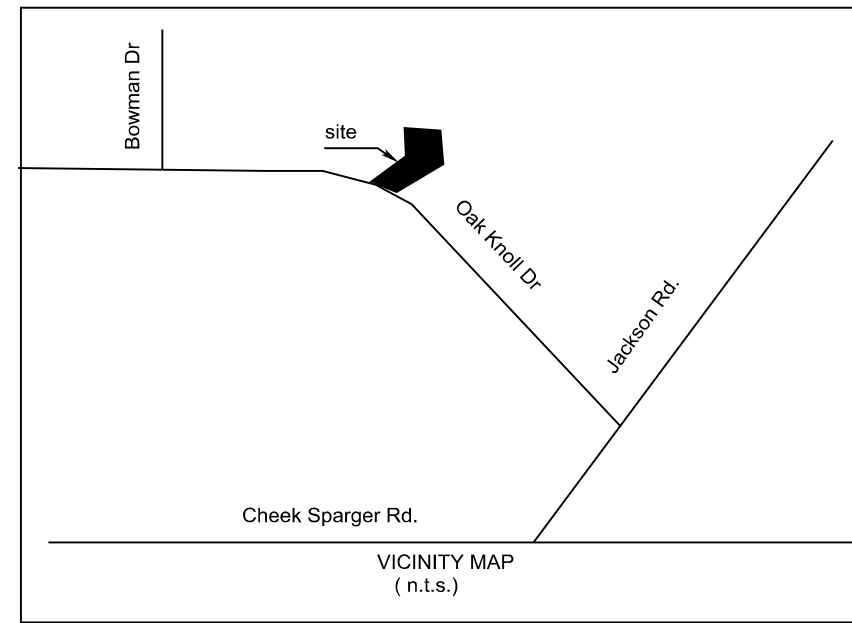
Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Shannon Engelman, Owner known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ____ day of _____, 2026

Notary Public in and for the State of Texas

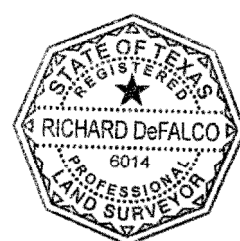


LEGEND
- DRTCT = Deed Records, Tarrant County, Texas
- PRTCT = Plat Records, Tarrant County, Texas
- IR = iron rod
- b.l. = building line
- d. & u.e. = drainage & utility easement
- Co-ordinates shown are Texas State Plane Co-ordinates, North Central Zone, NAD 83

The purpose of this plat is to create one platted lot from 2 contiguous, metes and bounds properties
Zoning change will be a separate application, will not be shown on plat.

STAFF APPROVAL AUTHORITY
This amending or minor plat is approved in accordance with Section 212.0065 of the Texas Local Government Code and the City of Colleyville Subdivision Regulations
Date _____
Community Development Director _____

SURVEYOR'S CERTIFICATION
KNOW ALL MEN BY THESE PRESENTS:
That I, Richard DeFalco, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground. Further, this survey conforms to the general rules of procedures and practices of the most current Land Surveying Practices Act.
Signature _____ Date _____



STATE OF TEXAS, COUNTY OF TARRANT
Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Richard DeFalco, Registered Public Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.
Given under my hand and seal of office, this ____ day of _____, 2026
Notary Public in and for the State of Texas
My Board expires on: _____

OWNER:
Matthew & Shannon Engelman
3700 Treemont Ct.
Colleyville, TX. 76034
832-623-0903

Rick DeFalco - Surveyor
201 Carolyn Drive
Hurst, TX. 76054
817-428-0155
Date: 12/30/2025
Updated: 01/09/2026

MINOR PLAT
ENGELMAN ADDITION
Lot 1, Block 1
BEING 1.984 ACRES OF LAND SITUATED IN THE D.R. TEETER SURVEY, ABSTRACT 1518 AND THE SIMON COTRAIL SURVEY, ABSTRACT 328, CITY OF COLLEYVILLE, TARRANT COUNTY TEXAS

Date of preparation December 30, 2025

According to the FIRM map #48439C0210K, dated 9/25/2009, this property is not located in a special flood hazard area. It is located in zone "x".